

Southern Planning Committee

Agenda

Date:	Wednesday 30th August 2023
Time:	10.00 am
Venue:	Council Chamber, Municipal Buildings, Earle Street, Crewe CW1 2BJ

Please note that members of the public are requested to check the Council's website the week the Southern Planning Committee meeting is due to take place as Officers produce updates for some or all of the applications prior to the commencement of the meeting and after the agenda has been published

The agenda is divided into 2 parts. Part 1 is taken in the presence of the public and press. Part 2 items will be considered in the absence of the public and press for the reasons indicated on the agenda and at the top of each report.

It should be noted that Part 1 items of Cheshire East Council decision making meetings are audio recorded and the recordings will be uploaded to the Council's website

PART 1 – MATTERS TO BE CONSIDERED WITH THE PUBLIC AND PRESS PRESENT

1. Apologies for Absence

To receive apologies for absence.

2. Declarations of Interest/Pre Determination

To provide an opportunity for Members and Officers to declare any disclosable pecuniary and non-pecuniary interests and for Members to declare if they have pre-determined any item on the agenda.

3. Minutes of Previous Meeting (Pages 5 - 10)

To approve the minutes of the meeting held on 2 August 2023.

For requests for further information

Contact: Rachel Graves

E-Mail: rachel.graves@cheshireeast.gov.uk

4. **Public Speaking**

A total period of 5 minutes is allocated for each of the planning applications for the following:

- Ward Councillors who are not members of the Planning Committee
- The relevant Town/Parish Council

A total period of 3 minutes is allocated for each of the planning applications for the following:

- Members who are not members of the planning committee and are not the Ward Member
- Objectors
- Supporters
- Applicants

5. **23/0306N - DODDINGTON MILL HOUSE, MILL LANE, DODDINGTON, CW5 7NN: Proposal to convert part of an outbuilding to commercial use for Pet and Equine cremations including the installation of 2no Incinerators.** (Pages 11 - 32)

To consider the above planning application.

6. **23/1366N - LAND AT STATION YARD, STATION YARD, WRENBURY ROAD, ASTON, CW5 8HA: Full planning application for a change of use from mixed storage and retail to Class B2 along with the provision of replacement concrete plant** (Pages 33 - 54)

To consider the above planning application.

7. **21/4635C - THE LIMES, 3, SWEETTOOTH LANE, SANDBACH, CW11 1DB: Demolition of The Limes Public House and Construction of a new 57 bed Care Home with car parking and landscaping** (Pages 55 - 86)

To consider the above planning application.

8. **22/1412N - LAND OFF, SYDNEY ROAD, CREWE: Full application for the erection of affordable housing together with access, landscaping and public open space including a tree lined walkway and other associated works** (Pages 87 - 132)

To consider the above planning application.

9. **23/0727N - LAND ADJACENT To 179, ALTON STREET, CREWE: Erection of two sets of two semi-detached properties and a rear extension to no.179 (renewal of planning permission 19/0339N)** (Pages 133 - 166)

To consider the above planning application.

10. **22/0720N - LAND NORTH OF ALVASTON ROUNDABOUT, MIDDLEWICH ROAD, NANTWICH: Proposed new office development (Use Class B1) consisting of six buildings with associated car parking, access road and landscaping** (Pages 167 - 198)

To consider the above planning application.

11. **22/4796N - BUERTON HALL, WOORE ROAD, BUERTON, CW3 0DA: Retrospective application for the construction of an agricultural building to be used for the housing of livestock** (Pages 199 - 214)

To consider the above planning application.

12. **23/1510M - STANLEY AND BROCKLEHURST COURT, KING EDWARD ROAD, MACCLESFIELD, SK10 1AP: The replacement of the current gas boilers and installation of new flues and the installation of secondary glazing to the kitchen and bathroom windows of all 12 Almshouses** (Pages 215 - 228)

To consider the above planning application.

13. **23/1509M - STANLEY AND BROCKLEHURST COURT, KING EDWARD ROAD, MACCLESFIELD, SK10 1AP: Listed building consent for the replacement of the current gas boilers and installation of new flues and the installation of secondary glazing to the kitchen and bathroom windows of all 12 Almshouses** (Pages 229 - 240)

To consider the above planning application.

THERE ARE NO PART 2 ITEMS

Membership: Councillors R Bailey, J Bird, J Bratherton (Chair), L Buchanan, A Burton, L Crane, A Critchley, A Gage, A Kolker (Vice-Chair), M Muldoon and J Wray

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CHESHIRE EAST COUNCIL

Minutes of a meeting of the **Southern Planning Committee**
held on Wednesday, 2nd August, 2023 in the Council Chamber, Municipal
Buildings, Earle Street, Crewe CW1 2BJ

PRESENT

Councillor J Bratherton (Chair)
Councillor A Kolker (Vice-Chair)

Councillors R Bailey, J Bird, L Buchanan, A Burton, L Crane, A Critchley,
M Muldoon and J Wray

OFFICERS IN ATTENDANCE

Daniel Evans, Principal Planning Officer
Andrew Poynton, Senior Planning and Highways Lawyer
Andrew Golghier, Principal Development Control Officer
Jennifer Ashley, Democratic Services Officer

13 APOLOGIES FOR ABSENCE

There were no apologies for absence received.

14 DECLARATIONS OF INTEREST/PRE DETERMINATION

In the interest of openness the following declarations were made;

Councillor Bailey declared that in relation to application 23/1366N, she had previously traded with the organisation but was not aware of any transactions that had taken place within the last 5 years.

Councillor Muldoon declared that in relation to application 22/1163C, he has had involvement with the application and would therefore step down from the committee for this item and not take part in any discussions or vote on the item.

15 MINUTES OF PREVIOUS MEETING**RESOLVED:**

That the minutes of the meeting held on 28 June 2023 be approved as a correct record.

16 PUBLIC SPEAKING

That the public speaking procedure be noted.

17 22/4698N - SYDNEY COTTAGE FARM, HERBERT STREET, CREWE, CW1 5LZ - DEMOLITION OF ALL BUILDINGS AND STRUCTURES AND THE ERECTION OF 47 NO. RETIREMENT LIVING APARTMENTS (USE CLASS C3) ALL OF WHICH WOULD BE AFFORDABLE HOMES, ALONG WITH PARKING SPACES, LANDSCAPING AND ASSOCIATED WORKS

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application;

Councillor Hazel Faddes and Mr Mellan – Agent.

RESOLVED:

That the application be APPROVED, as recommended subject to conditions as listed below and subject to an S106 Agreement as detailed in the report and an addition to the Heads of Terms to include;

- Scheme of Management for all areas of communal open space and the PROW crossing the site.

Conditions;

1. Standard Time
2. Approved plans
3. External Materials
4. Surfacing materials
5. Revised Landscape Scheme with a 10 year management plan
6. Landscape Implementation
7. Boundary Treatment
8. Tree Retention
9. Implementation of AIA and AMS
10. Tree Protection
11. Levels survey
12. Biodiversity enhancement features
13. Safeguard Nesting Birds
14. Lighting strategy – prior to occupation
15. Secure and covered cycle parking – prior to occupation
16. Construction Management Plan to be submitted and approved
17. Detailed strategy/design limiting the surface water runoff generated by the proposal, and associated management /maintenance plan - required prior to commencement
18. Foul and surface water to be drained separately
19. Prior to occupation – EVI
20. Prior to occupation – Low emission boilers
21. Travel Information Pack
22. Contaminated Land – Phase II report and remediation scheme
23. Contaminated Land – verification report to be submitted
24. Contaminate land – Soil Importation
25. Contaminate land - Unexpected Contamination

- 26. 10% of energy needs to be from renewable or low carbon energy
- 27. At least 30% of the dwellings in housing developments should comply with the requirements of M4(2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings
- 28. At least 6% of the dwellings in housing developments should comply with the requirement m4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings.

In order to give proper effect to the Southern Committee's intent and without changing the substance of its decision, authority is delegated to the Head of Planning (Regulation) in consultation with the Chair (or in their absence the Vice Chair) to correct any technical slip or omission in the resolution, before issue of the decision notice.

Councillor Burton left the room for a short time during discussions for this item and did not take part in the vote.

Councillor Wray arrived part way through discussions for this item and did not take part in the vote.

18 23/1366N - LAND AT STATION YARD, STATION YARD, WRENBURY ROAD, ASTON, CW5 8HA - CHANGE OF USE FROM MIXED STORAGE AND RETAIL TO CLASS B2

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application;

Parish Councillor David Nutting, Mr Spicer and Mr Copestake – Agent.

RESOLVED:

That the application be DEFFERED for the following reasons;

- To review all conditions and ensure that they are enforceable
- Assessment of Network Rail comments with the condition added to the recommendation
- Information on carbon reduction
- Review of Policy RUR10
- Consideration of the red-line
- Confirmation of the HGV movements from the remainder of the site edged blue.

- 19 **22/1163C - COPPERSFIELD, CHURCH LANE, SANDBACH, CHESHIRE, CW11 2LQ - THE PROPOSED DEVELOPMENT COMPRISES FIVE DETACHED FIVE-BEDROOM HOUSES ARRANGED ON A SHORT PRIVATE DRIVEWAY WHICH LINKS TO THE ACCESS ROAD OF THE DEVELOPMENT TO THE NORTH**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application;

Ms MacPherson – Marrons (Agent)

RESOLVED:

That the application be DELEGATED to the Head of Planning in consultation with the Chair as recommended within the update report, to determine the sum for off-site Biodiversity Net Gain that will be secured via the completion of an S106 Agreement and then APPROVE the application subject to the following conditions:

1. Time limit
2. Approved plans
3. Materials as detailed in the application
4. Details of any external lighting to be provided prior to installation
5. Submission of levels prior to commencement of development
6. Provision of electric vehicle infrastructure
7. Provision of ultra low emission boilers
8. Compliance with the mitigation measures in the submitted Noise Impact Assessment
9. A (a) Any soil or soil forming materials to be brought to site for use in garden areas or soft landscaping shall be tested for contamination and suitability for use in line with the current version of 'Developing Land within Cheshire East Council – A Guide to Submitting Planning Applications, Land Contamination' (in the absence of any other agreement for the development), which can be found on the Development and Contaminated Land page of Cheshire East Council's website.
(b) Prior to occupation, evidence and verification information (for example: quantity/source of material, laboratory certificates, depth measurements, photographs) shall be submitted to, and approved in writing by, the Local Planning Authority (LPA).
11. If, during the course of development, contamination not previously identified is found to be present, no further works shall be undertaken in the affected area and the contamination shall be reported to the Local Planning Authority as soon as reasonably practicable (but within a maximum of 5 days from the find). Prior to further works being carried out in the identified area, a further assessment shall be made and appropriate remediation implemented in accordance with a scheme also agreed in writing by the Local Planning Authority.

12. Submission of a foul and surface water drainage scheme prior to commencement of development
13. Protection of breeding birds
14. Provision of features to enhance biodiversity
15. Obscure glazing – west facing window to the side of plot 2
16. Notwithstanding the details shown on the approved plans and prior to the first use of a facing or roofing materials a revised plan to show the widening of the access from the parking provision for plot 3 shall be submitted to the LPA for approval in writing. The development shall only be constructed in accordance with the approved details.

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning, in consultation with the Chair (or in their absence the Vice Chair) of Southern Planning Committee, to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.

20 **23/0306N - DODDINGTON MILL HOUSE, MILL LANE, DODDINGTON, CW5 7NN - PROPOSAL TO CONVERT PART OF AN OUTBUILDING TO COMMERCIAL USE FOR PET AND EQUINE CREMATIONS INCLUDING THE INSTALLATION OF 2NO INCINERATORS**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application;

Cllr Janet Clowes, Mrs Winstanley and Mr Roberts.

RESOLVED:

That the application be DEFERRED to allow Members to undertake a site visit and for information to be provided on the following areas;

- Information on odour, filters and maintenance of the incinerators
- Details of the disposal of waste/ashes
- Information of the training required for employees
- Journey expectations – details of the catchment area and the vets which may be served
- Details of the storage of carcasses
- Impact upon drainage/watercourse
- Details of carbon emissions and how this can be reduced.

Councillor Critchley left the meeting during the discussion of this item and did not return.

- 21 **23/0596C - HERMITAGE TURKEY FARM, HERMITAGE LANE, CRANAGE, CW4 8HA - DEMOLITION OF THE EXISTING POULTRY UNITS, FOLLOWED BY THE ERECTION OF A REPLACEMENT POULTRY UNIT WITH ASSOCIATED FEED BINS, HARDSTANDING'S, AND A DIRTY WATER TANK**

Consideration was given to the above planning application.

The following attended the meeting and spoke in relation to the application;

Ian Pick – Agent.

RESOLVED:

That the application be APPROVED, as recommended and subject to the following conditions;

1. Standard Time
2. Approved Plans
3. Materials as Application
4. Ecological Enhancement
5. External Lighting
6. Flood Risk and Drainage Assessment

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning, in consultation with the Chair (or in their absence the Vice Chair) of Southern Planning Committee, to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.

Councillor Bailey left during the discussion of this item and did not return.

The meeting commenced at 10.00 am and concluded at 2.30 pm

Councillor J Bratherton (Chair)

Application No: 23/0306N

Location: Doddington Mill House, MILL LANE, DODDINGTON, CW5 7NN

Proposal: Proposal to convert part of an outbuilding to commercial use for Pet and Equine cremations including the installation of 2no Incinerators.

Applicant: Georgina Carter, Nantwich Pet and Equine Crematorium

Expiry Date: 04-Aug-2023

SUMMARY

This proposal seeks permission to convert the use of an existing rural building to use partly for Pet and Equine cremations, including the use of two incinerators. The remaining section of the building will be retained for general storage for the site.

The application site is located in the open countryside as defined in the Local Plan Strategy (LPS). Policy PG6 of the LPS seeks to protect the open countryside from inappropriate development unless it is essential for the purposes of agriculture, forestry, outdoor recreation, public infrastructure, essential works undertaken by public service authorities or statutory undertakers, or for other uses appropriate to a rural area. The policy goes on to set out exceptions which are acceptable, such as re-use of an existing rural building where the buildings is permanent, substantial and would not require extensive alteration, rebuilding or extension.

The conversion of a building within the open countryside is acceptable within the countryside. Whilst the proposed use is appropriate within the open countryside. The principle of the development is considered to be acceptable.

The applicant has set out in their submission that the development would initially create two jobs with an additional 2 part time jobs expected as the business progresses. The applicant states that there are no local pet cremation facilities in the local area, and it will fill a need in the rural area linked with local vet practices, and equestrian facilities. There is therefore a rural link to the need to be located in a rural area to reduce vehicle movements to the wider area where other facilities may be available. Whilst the site is located off Mill Lane which is a relatively narrow lane, a number of farms use the lane and it is only located approximately 300m off the A51 which would offer easy access to Nantwich and Crewe relatively quickly.

There are no significant issues raised in terms of Ecology, Highways, Amenity or design, subject to conditions set out below.

It is therefore considered that given the small scale of the development, the re-use of existing building on site that the development is broadly in accordance with the Development Plan.

Recommendation

Approve with conditions

REASON FOR DEFERRAL

This application was heard at the Southern Planning Committee meeting of 2 August 2023 and was deferred for the following reasons:

1. To allow Members to undertake a site visit.

A site visit will be arranged prior to consideration of this item at the Planning Committee meeting.

2. For additional information/clarification on the following points;

- **Information on odour, filters and maintenance of the incinerators**
- **Details of the disposal of waste/ashes**
- **Information of the training required for employees**
- **Journey expectations – details of the catchment area and the vets which may be served**
- **Details of the storage of carcasses**
- **Impact upon drainage/watercourse**
- **Details of carbon emissions and how this can be reduced**

Further to the consideration of additional information, the points of deferral are addressed below;

Information on odour, filters and maintenance of the incinerators

The applicant has confirmed that no odour is produced when the machines are operational. The Environmental Protection Team have considered this matter and raised no objections and note the incinerators comply with the required EU standards and legislation. The machines would be purchased through Addfield being one of the largest producers of incinerators in Europe and as such the applicant has confirmed that they work closely and will be maintaining the machines as and when required, they also do a 48 hour call out for any issues.

The Environmental Protection Team have also stated as set out below in the main officers report, that the proposal will require a permit under the Environmental Permitting Regulations and the applicant will need to apply for a Permit from the Council's Environmental Protection Team. Permits are a proactive means of controlling emissions to atmosphere by the imposition of specific conditions which are then subject to ongoing monitoring and inspection by the Environmental Protection Team. Applications are assessed in full, and conditions are imposed in line with statutory guidance issued by central government. The applicant has been advised of this specific requirement, therefore the impact on neighbouring amenity will be controlled by Environmental Protection legislation. The scale of the development is therefore considered to be acceptable and would not adversely impact on neighbouring amenity and is subject to strict restrictions under Environmental Protection legislation.

Details of the disposal of waste/ashes

The applicant has confirmed that the ashes will be returned to owners in sealed containers. Given there is a cost involved in the cremation it is most likely that customers will retrieve the ashes. However, in the instance of them not wanting the ashes returned, the applicant has confirmed that they will be sent to landfill by a licenced waste disposal provider. The applicant has confirmed that they have liaised with some commercial providers, and they have advised that they can organise weekly / monthly collections depending on the demand. The applicant has confirmed that waste would only be ashes the machine burns to 850 degrees and therefore any bi-products would be turned to ash therefore the waste would be dry.

Information of the training required for employees

The applicant has confirmed that as part of the purchase of the machines Addfields package provides full training for any users and further training should it be required for future staff. Training will be provided at their off-site facility, can visit another crematorium that they have supplied to and speak to the owners. Once the machines are installed they then provide further onsite training by an Addfield engineer. The site is then also appointed an account manager who is on hand for further queries and support.

Journey expectations – Details of the catchment area and the vets which may be served

The applicants have confirmed that currently there are 25 veterinary practices in the immediate local area of Crewe and Nantwich. Pending approval of this application the applicants states that they would be contacting the veterinary practices regarding the new facility and having an open day.

The applicant confirms that they will be offering a free collection and delivery service in electric vehicles. It is planned to extend this to the equine collections by purchasing an electric towable vehicle. The applicant states that they currently have solar panels fitted along with charging points to their home and the barn and are currently generating enough electricity to charge the vehicles, which help to create a sustainable business.

The applicant states that pets are the largest growing trend in the UK since the pandemic with over 51% of adults owning a pet. Currently most veterinary practices are full of clients, some turning new owners away as they are at capacity. The business will be aimed to serve the local area, where this type of development does not exist. The target area will be locally with the catchments of Crewe, Nantwich, and Tarporley. The applicants notes that there is a large number equine related business and domestic horse owners in the area and intend to expand on this in the future.

Details of the storage of carcasses

The applicant confirms that they would be limiting the number of carcasses held on site. Horses would be collected one by one and cremated on that basis, with no collections/deliveries allowed until the machine is ready to take the horse. Regarding the small animals the collections from veterinary practices are proposed to be collected in bulk, and the applicant states that they will be purchasing a lockable refrigeration storage unit which would be located in the barn.

The applicant considers this will be necessary due to the temperatures emitted from the machines and this would be much needed to keep the site clean and safe as possible, and enabling bulk collections in the summer months when it gets a lot warmer. Depending on future needs an electric refrigeration vehicle may be required.

Impact upon drainage/watercourse

The building is existing and has existing surface water drainage pipes etc. The applicant confirms that the waste from the process is dry waste only, therefore there should be no additional impact on drainage or the watercourse. Both the Council's Flood Risk Team and the Environment Agency have been consulted on the scheme and have raised no objections to the proposal in principle. Guidance is given in the consultation responses to the applicant on best practice and the requirement for certain licences from EA where required. (These sit outside of the planning remit). It is therefore considered that the development would not have any detrimental impact on the nearby water course.

Details of carbon emissions and how this can be reduced

The applicant submitted full details of the machines and their emissions as part of the application submission and these details were considered by the Environmental Protection Team as part of their consultation process. The details set out that the machines approved by the Animal and Plant Health Agency (APHA). The machines also have limited usage times therefore these would be operational for the times set out only. The stack is 7 metres from the top of the machines meaning there would be about 2.5 / 3 m stack visible out of the roof of the building. Due to the high point where the barn is situated the stack is approximately 15m+ higher than the nearest property located at the side of the brook.

As set out within the main officer's report below, the Environmental Protection Team have considered the application and the nearest neighbouring property (other than the applicants) is located over 100m away from the buildings. Environmental Protection have assessed the proposal and have raised no objections to the use subject to the incinerators proposed in the application being used and the external flues being of a height of at least 2.5m.

Furthermore, the Environmental Protection Officers have confirmed that that the operation of the animal incinerator will fall under the Environmental Permitting Regulations and the applicant will need to apply for a Permit from the Council's Environmental Protection Team. Permits are a proactive means of controlling emissions to atmosphere by the imposition of specific conditions which are then subject to ongoing monitoring and inspection by the Environmental Protection Team. Applications are assessed in full, and conditions are imposed in line with statutory guidance issued by central government. The applicant has been advised of this specific requirement, therefore the impact on neighbouring amenity will be controlled by Environmental Protection legislation. The scale of the development is therefore considered to be acceptable and would not adversely impact on neighbouring amenity and is subject to strict restrictions under Environmental Protection legislation.

CONCLUSION

The application remains **recommended for approval, subject** to the conditions detailed at the end of this report.

Previously considered report at the Southern Planning Committee meeting on 2nd August 2023

REASON FOR REFERRAL

The application is referred to Southern Planning Committee at the request of Councillor Clowes for the following reasons;

'I have a number of concerns regarding this application. First of all, Doddington Mill House is NOT a farm and has not operated as a farm in any respect for many decades. The location plan clearly identifies that this land-holding is located along the Forge Brook and is part of a recognised wildlife corridor of importance (Cheshire Wildlife Trust 2018).

This application therefore is not a change of use from agricultural to commercial, but a new commercial business classification. (Any farm machinery stored on site may be related to businesses outside the site or to recent earth modification activity on what is now exposed garden to the property alongside the brook.) This application was first submitted last year and withdrawn as it does not comply with prior approval conditions and a full application is required (hence this full resubmission).

a) The application does not comply with CELPS Policy EG2. The opportunity for rural employment in this unsustainable site is extremely limited and makes no contribution to rural vitality in this area.

b) This proposal does not represent the retention or diversification of an existing business.

c) It does not meet the sustainable development objectives of CELPS Policies MP1, SD1, or SD2

d) This proposal has very limited potential to support the rural economy BUT importantly this service may reasonably be expected to locate in more sustainable, designated centres. (Indeed, it may be argued that crematoria should be in areas that are more accessible to customers and emergency services.

e) The SADPD - This proposal does not comply with Policy RUR2 as this is NOT a farm diversification of an agricultural business. This is a stand-alone proposal in an unsustainable location at what will be a significant distance from any proposed customer base.

f) The Wybunbury Combined Parishes Neighbourhood Plan. This proposal does not comply with WCPNP Policy LE1. Whilst the application does seek to re-use an existing building, the proposal does not comply with other relevant planning policies.

g) There is statutory guidance for Animal Carcass Incineration issued by DEFRA Guidance Note 5/03(13) and there may be other regulations. There is no mention of proximity to dwellings (what are the distances to nearby dwellings) nor is there any mention of fire regulations. This is a complex activity where appropriate statutory consultees (Environmental Protection) and Industrial Standards must be notified and addressed.

h) The access to the site is via a narrow, single lane track which would not enable two cars to pass (let alone horse boxes or fuel tankers.)

i) I note that the Highways approve the access as acceptable as there were no accidents on Mill Lane in the prior three years. This fails to recognise that the preceding three years were impacted by Covid lock-downs and the fact that Mill Lane was closed for the majority of that time due to other major engineering works on the lane requiring road closures. These included:

- A six months closure due to the instable structure of the Doddington Mill Bridge adjacent to the access track to the application site on Mill Lane from May ◊ November 2021.*
- Intermittent lane closures due to flooding and replacement drainage engineering at Yew Tree Farm during 2019 and 2020*
- A two months closure on Mill Lane End for further reconfiguration of road drains and culverts to prevent repeated flooding of Mill Lane and the Mill Lane End cottages.*
- Intermittent closures on Mill Lane End as the result of HS2a mitigation surveys (this is an on-going programme currently with Balfour Beatty, National Grid Gas and Kier)*

j) *The Highways report suggest that visibility splays are good on accessing and egressing the track entrance. This is not the case. (Has this property been mistaken for the adjacent Doddington Mill Farm?) On exiting the track onto Mill Lane, right-hand egress is impaired by the steep incline down to the bridge and woodland. It is suggested that highways officers conduct a thorough site visit to assess the visibility splays and capacity of the access track for the type of vehicles that this business proposal will require to be accommodated.*

k) *The Highways Report does not take into account the high levels of HGV and farm traffic accessing the next door (unrelated) Doddington Mill Farm at the top of the hill. (The difference is that the access to this property is much wider, is highly engineered with passing places and wide grass verges at the junction with Mill Lane permitting good visibility in both directions. These advantages are not available to the Doddington Mill House applicants).*

l) *The National Mill Dale Scout Association Campsite is located a short distance from the access junction and on the same Mill Brook. This is a well-used site attracting high levels of traffic, activity and other agencies (including the Police) throughout the week and over the course of the year. It should be recognised that the principal access route to Mill Lane (and the application site) will be via the A51 and past the Milldale Site.*

m) *Two crematoria for large and small animals will require significant levels of stored fuel (in addition to that required for domestic use). There is no piped gas supply to this rural area and so LPG or oil will have to be sourced, delivered and stored for use.*

n) *There is no analysis in the detail provided regarding the crematoria burners regarding management of noise, emissions or air-borne particulate matter which may create potential problems in this quite elevated position. These will have negative impacts on two dwellings that are situated below the application site on the other side of the brook.*

o) *The building proposed is a substantial new-build storage unit: 6m x 18m x 4m (5m to the ridge) at the top of the site overlooking the Mill Brook and the two neighbouring properties; Eveley Mill Cottage and Doddington Mill. Extensive clearing of trees and remodelling of the lower tiers of the site in 2020 have further exposed the site in this important wildlife corridor (as identified in the Wybunbury Combined Parishes Neighbourhood Plan by the Cheshire Wildlife Trust in 2019.)*

p) *there are no details of drainage proposals for this building. In an area with no main drains and situated an important main rivers watercourse, this is essential. In the light of the above concerns and non-compliance with important planning policies, I politely request that this application is refused'.*

DESCRIPTION OF SITE AND CONTEXT

The application site relates to a building within the ownership of Doddington Mill House, off Mill Lane, Doddington which is located within the Open Countryside.

DETAILS OF PROPOSAL

This application seeks permission to convert an existing building on the site for pet and equestrian cremations. This will include the use of two incinerators. The remaining section of the building will be retained for general storage for the site.

RELEVANT HISTORY

22/1430N – Prior Approval for a proposed change of use – Withdrawn 22/6/22

21/0770N – Proposed garage extension to front of home, proposed rear summer house extension – Refused 24th May 2021

POLICIES

Cheshire East Local Plan Strategy

MP 1 - Presumption in Favour of Sustainable Development

PG 2 - Settlement Hierarchy

PG 6 - Open Countryside

SD 1 - Sustainable Development in Cheshire East

SD 2 - Sustainable Development Principles

EG2 - Rural Economy

EG 5 – Promoting a Town Centre First Approach to Retail and commerce

SE 1 - Design

SE3 - Biodiversity and Geodiversity

SE4 - The Landscape

SE13 - Flood Risk and Water Management

SE12 - Pollution, Land Contamination and Land Instability

CO 2 - Enabling Business Growth Through Transport Infrastructure

Appendix C: Parking Standards

Site Allocation and Development Policies Document

GEN 1 Design principles

ENV1 Ecological network

ENV2 Ecological implementation

ENV 3 Landscape character

ENV 5 Landscaping

ENV 15 New development and existing uses

ENV 16 Surface water management and flood risk

RUR 2 Farm diversification

RUR 10 Employment development in the open countryside

RUR 13 Replacement buildings for residential use

RUR 14 Re-use of rural buildings for residential use

HOU 12 Amenity

INF 3 Highway safety and access

Wybunbury Combined Neighbourhood Plan

H4 Design

E5 Landscape Quality, Countryside and open views
LE1 New and Existing businesses
LE3 Use of rural buildings
TI1 Traffic Management

Other Material Considerations

National Planning Policy Framework (NPPF)

CONSULTATIONS (External to Planning)

Environmental Protection – No objections subject to condition for stack height to be at least 7m (total height)

Highways – No objections

Flood Risk – No objections

Environment Agency – No objections

Natural England – No objections

VIEWS OF THE PARISH / TOWN COUNCIL – None received at time of writing this report

OTHER REPRESENTATIONS

Two letters of representation have been submitted, including one submitted on behalf of two neighbours. The issues raised are summarised below (full comments available on the website);

- Concerns raised over the access, driveway width and use of the lane, and its potential impact on Highway Safety
 - The building is a new building which has recently been constructed
 - The site has never been in agricultural use – it is not a farm
 - Concerns raised over other potential commercial uses in the future
 - Concerns raised over potential health implications from pollutants into the air from the incinerators
 - Concerns raised over potential impact on house values
 - Unhappy that applicants appear to have assumed they would get permission prior to speaking to neighbours about proposed development
 - Concerns raised over the limited amount of information supplied with the application, eg. Information re the operation of the incinerators, Lack of Ecological Assessment, No drainage details supplied, no floor plans,
 - No parking / delivery information
 - The development is contrary to policy PG6, MP1, SD1 and SD2
 - Site is unsustainably located
 - Use is not acceptable in rural area contrary to Policy ENV3
 - Potential impact on neighbouring amenity
 - Development will have a detrimental impact on local wildlife and biodiversity
-

OFFICER APPRAISAL

Principle of Development

The application site is located in the open countryside as defined in the Local Plan Strategy (LPS). Policy PG6 of the LPS seeks to protect the open countryside from inappropriate development unless it is essential for the purposes of agriculture, forestry, outdoor recreation, public infrastructure, essential works undertaken by public service authorities or statutory undertakers, or for other uses appropriate to a rural area.

Policy PG6 then goes on to set out exceptions which are acceptable, such as re-use of an existing rural building where the buildings is permanent, substantial and would not require extensive alteration, rebuilding or extension (exception ii) and the replacement of existing buildings by new buildings which are not materially larger than the building they replace (exception iii).

Policy RUR10 of the SADPD sets out where employment development may be appropriate within the open countryside and the requirements it should meet. It is noted that this policy sets out that additional buildings, structures and ancillary development are restricted to the minimum level reasonably required for the existing or planned operation of the business; are well-related to each other and existing buildings and do not form isolated or scattered development.

Policy EG2 (Rural Economy) of the LPS sets out that in rural area development which meets the following criteria will be supported provided the development also accords with other relevant policies of the development plan;

- 1. Provided opportunities for local rural employment development that supports vitality of the rural settlements;*
- 2. Creates or extend rural based tourist attractions, visitor facilities and recreational uses*
- 3. Encourage the retention and expansion of existing businesses particularly through the conversion of existing buildings and farm diversification;*
- 4. Encourage the creation and expansion of sustainable farming and food production businesses and allow for the adaption of modern agricultural practices;*
- 5. Are considered essential to the wider strategic interest of the economic development of Cheshire East as determined by the Council*
- 6. Supports retention and delivery of community serves such as shops and public houses, and village halls*

Policy LE1 of the W&CPNP is more supportive of new buildings and sets out the proposals for new appropriate rural employment will be supported where it can be demonstrated that the development will positively benefit the local economy and provide opportunities for local employment. Policy LE3 then supports the re-use of rural buildings provided that they meet a number of criteria.

The development proposes to convert an existing building. Some works have taken place to this building in the form of new cladding materials. The evidence available is in the form of aerial photographs and those from 2019-21, 2015-17, 2010 and 1999-2003 all do show buildings on the site. If the proposal was not considered a conversion then the replacement would be allowable under exception iii of PG6, providing that the building is not materially larger (in terms

of footprint the proposal would not be materially larger, as evidenced by viewing the historic aerial photographs).

This development would be for a small-scale operation and the business is therefore likely to serve a fairly localised market and rural customer base such as local vets and private individuals. Given the rural location, this facility would therefore appear to be well located to serve its intended market, and it is accepted that the proposal could also be considered to be an appropriate use within the countryside.

The use of the building is for pet and equine cremations using two incinerators. This is a sui generis use which would have no permitted changes of use to any other type of commercial use. The location in a rural area is relatively acceptable due to the low limit of expected movements. The applicant is intending to provide a collection and delivery service for most cremations from vet surgeries in the area, with an estimated up to 4 cars per week from customers with small pets, and up to 2 equine cremations per week which would include horse boxes. Furthermore, the generally small footprint of the building floor plan would limit the numbers.

The applicant has set out in their submission that the development would initially create two jobs with an additional 2 part time jobs expected as the business progresses. The applicant states that there are no local pet cremation facilities in the local area (the nearest sites are at Moston, or Shropshire (locations south of Whitchurch and Market Drayton and north of Eccleshall), and it will fill a need in the rural area linked with local vet practices, and equestrian facilities. There is therefore a rural link to the need to be located in a rural area to reduce vehicle movements to the wider area where other facilities may be available.

Whilst the site is located off Mill Lane which is a relatively narrow lane, a number of farms use the lane and it is only located approximately 300m off the A51 which would offer easy access to Nantwich, Crewe and Woore relatively quickly.

It is therefore considered that given the small scale of the development, the re-use of existing building on site that the development is broadly in accordance with the Development Plan.

Design and Character of the Area

Policy SD2 of the CELPS states that all development will be expected to contribute positively an area's character and identity, creating or reinforcing local distinctiveness in terms of:

- Height, scale, form and grouping
- Choice of materials
- External design features
- Massing of the development (the balance between built form and green/public spaces)
- Green infrastructure; and
- Relationship to neighbouring properties, street scene and the wider neighbourhood

Policy SE4 of the CELPS sets out that the high quality of the built and natural environment is recognised as a significant characteristic of the borough and that all development should conserve the landscape character and quality, and should where possible, enhance and effectively manage the historic, natural and man-made landscape features that contribute to local distinctiveness of both rural and urban landscapes.

The proposed development will be largely internal alterations within the building with only 2 no flues being visible externally. The existing building has recently been reconstructed with green coloured metal sheets. The Flues are required to be a total of 7m in height to ensure they meet Environmental Protection legislation, which requires flues of 2.5m protruding above the roof line. The flues are relatively thin and due to the sloping nature of the site will be largely hidden in view from around the site.

For the reasons noted above, it is considered that the development would have only a limited impact upon the character and appearance of the open countryside location, and therefore complies with the relevant policies of the development plan.

Amenity

Policies SD2 and SE1 of the CELPS seek to ensure an appropriate level of privacy for new and existing residential properties. Policy HOU 12 of the SADPD similarly sets out that development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive uses or future occupiers of the proposed development.

The nearest neighbouring property (other than the applicants) is located over 100m away from the buildings. Environmental Protection have assessed the proposal and have raised no objections to the use subject to the incinerators proposed in the application being used and the external flues being of a height of at least 2.5m. Furthermore, the Environmental Protection Officers have confirmed that the operation of the animal incinerator will fall under the Environmental Permitting Regulations and the applicant will need to apply for a Permit from the Council's Environmental Protection Team. Permits are a proactive means of controlling emissions to atmosphere by the imposition of specific conditions which are then subject to ongoing monitoring and inspection by the Environmental Protection Team. Applications are assessed in full, and conditions are imposed in line with statutory guidance issued by central government. The applicant has been advised of this specific requirement, therefore the impact on neighbouring amenity will be controlled by Environmental Protection legislation.

The scale of the development is therefore considered to be acceptable and would not adversely impact on neighbouring amenity and is subject to strict restrictions under Environmental Protection legislation.

Highways / Access

The Strategic Highways Officer has considered the proposal and notes that the existing access onto the public highway. Access is from Mill Lane which itself is primarily accessed from A51 London Road. The Mill Lane access, off London Road, is wide and provides sufficient width for 2 cars to pass each other, or for a car to pass an HGV. Mill Lane then narrows but there is a large passing bay at the scout campsite entrance. Mill Lane then narrows again to single car width but background traffic levels here are low.

The Strategic Highways officer states that there have been no recorded traffic accidents along Mill Lane or at its access with London Road over the last 3 years. Comments have been submitted regarding more limited use of the lane over these 3 years relating to road works or Covid restrictions, but access would have still been available at these times. Nevertheless, extending back 5 years there have still been no recorded traffic accidents.

Regarding vehicle movements, the applicant has stated they will provide a collection and delivery service to and from the site in our own vehicles, including collecting in bulk from local veterinary practices once or twice per week. When running at full capacity they also expect up to 4 cars per week from customers dropping off. They expect 1 to 2 equine cremations per week for which they would use a horsebox and trailer.

The Strategic Highways Officer states that access visibility is acceptable and given the limited scale of the development, which has a floor area little more than a half dozen garages, and the number of vehicles that would be generated the proposal is considered to be acceptable and no objection is raised.

Ecology

The Councils Ecologist has been consulted on this application and the following comments have been made.

Statutory Designated Sites

The application site falls within Natural England's SSSI impact risk zones. The Officer advises that Natural England must be consulted to advise upon the potential impacts of the proposed development upon statutory designated sites.

Ecological Network and Biodiversity Net Gain

The application site falls within a Core Area and Restoration Area of the CEC ecological network which forms part of the SADPD. Policy ENV1 therefore applied to this application. This policy requires developments in Core Areas to lead to enhancements of priority habitat and developments in Restoration Areas to contribute to the enhancement of the network.

Policy SE3 of the core strategy and ENV2 also require development proposals to deliver a gain for biodiversity.

As the application site is relatively small opportunities for ecological enhancement are limited, it is suggested that the applicant submits a biodiversity enhancement strategy which includes proposals such as the incorporation of features for nesting birds such as house sparrow and native hedgerow planting.

Other matters

The Ecologist has advised that they do not anticipate there being any other ecological issues associated with the proposed development.

Natural England have been consulted on the application and have raised no objection to the development.

Flood Risk and Drainage

The LLFA have assessed the application and whilst the site possesses some local surface water risk which is in close proximity to the site boundary and is in close proximity to Flood Risk Zone 3, due to the scale and nature of this application have raised no objections to the proposal.

CONCLUSIONS AND REASON(S) FOR THE DECISION

This proposal seeks permission for the change of use of an existing rural building to use partly for Pet and Equine cremations, including the use of two incinerators. The remaining section of the building will be retained for general storage for the site.

The application site is located in the open countryside as defined in the Local Plan Strategy (LPS). Policy PG6 of the LPS seeks to protect the open countryside from inappropriate development unless it is essential for the purposes of agriculture, forestry, outdoor recreation, public infrastructure, essential works undertaken by public service authorities or statutory undertakers, or for other uses appropriate to a rural area. The policy goes on to set out exceptions which are acceptable, such as re-use of an existing rural building where the buildings is permanent, substantial and would not require extensive alteration, rebuilding or extension.

The conversion of a building within the open countryside is acceptable within the countryside. Whilst the proposed use is appropriate within the open countryside. The principle of the development is considered to be acceptable.

The use of the building is for pet and equine cremations using two incinerators. This is a sui generis use which would have no permitted changes of use to any other type of commercial use. The location in a rural area is considered to be relatively acceptable due to the low limit of expected movements. The applicant is intending to provide a collection and delivery service for the majority of cremations from vet surgeries in the area, with an estimated up to 4 cars per week from customers with small pets, and up to 2 equine cremations per week which would include horse boxes. Furthermore, the generally small footprint of the building floor plan would limit the numbers.

The applicant has set out in their submission that the development would initially create two jobs with an additional 2 part time jobs expected as the business progresses. The applicant states that there are no local pet cremation facilities in the local area, and it will fill a need in the rural area linked with local vet practices, and equestrian facilities. There is therefore a rural link to the need to be located in a rural area to reduce vehicle movements to the wider area where other facilities may be available. Whilst the site is located off Mill Lane which is a relatively narrow lane, a number of farms use the lane and it is only located approximately 300m off the A51 which would offer easy access to Nantwich, Crewe and Woore relatively quickly.

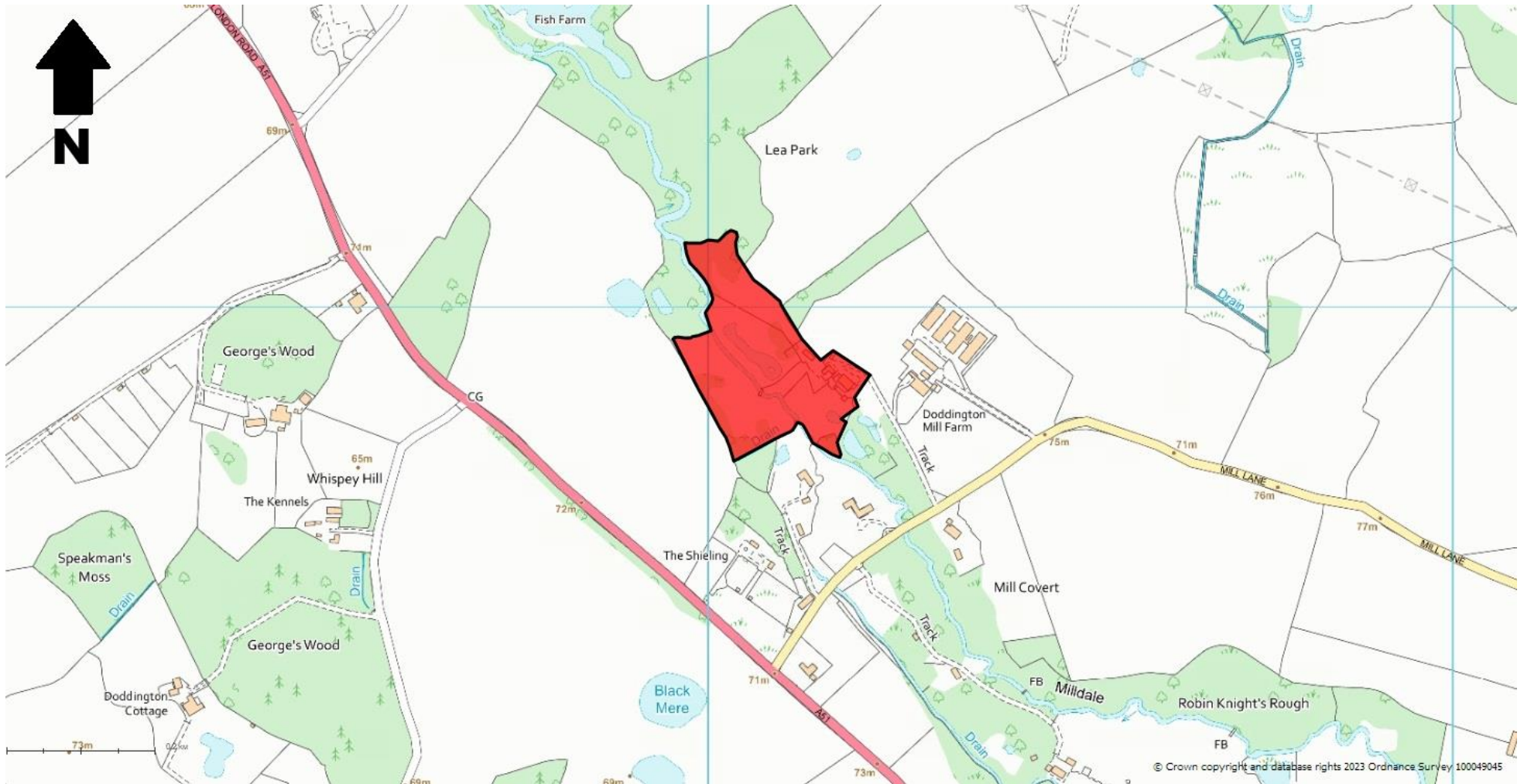
There are no significant issues raised in terms of Ecology, Highways, Amenity or design, subject to conditions set out below.

It is therefore considered that given the small scale of the development, the re-use of existing building on site that the development is broadly in accordance with the Development Plan.

Recommendation: Approve with conditions

- 1. Standard time**
- 2. Approved Plans**
- 3. Materials as set out**
- 4. Stack height of at least 7m**
- 5. Biodiversity Enhancement strategy**

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning (Regulation), in consultation with the Chair (or in his absence the Vice Chair) of Southern Planning Committee, to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.

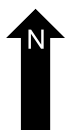
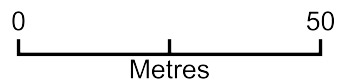


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23/0306N

DODDINGTON MILL HOUSE,
MILL LANE,
DODDINGTON, CW5 7NN

Doddington Mill House - Change of Use



Plan Produced for: G Carter

Date Produced: 25 Jan 2023

Plan Reference Number: TQRQM23025133611557

Scale: 1:1250 @ A4

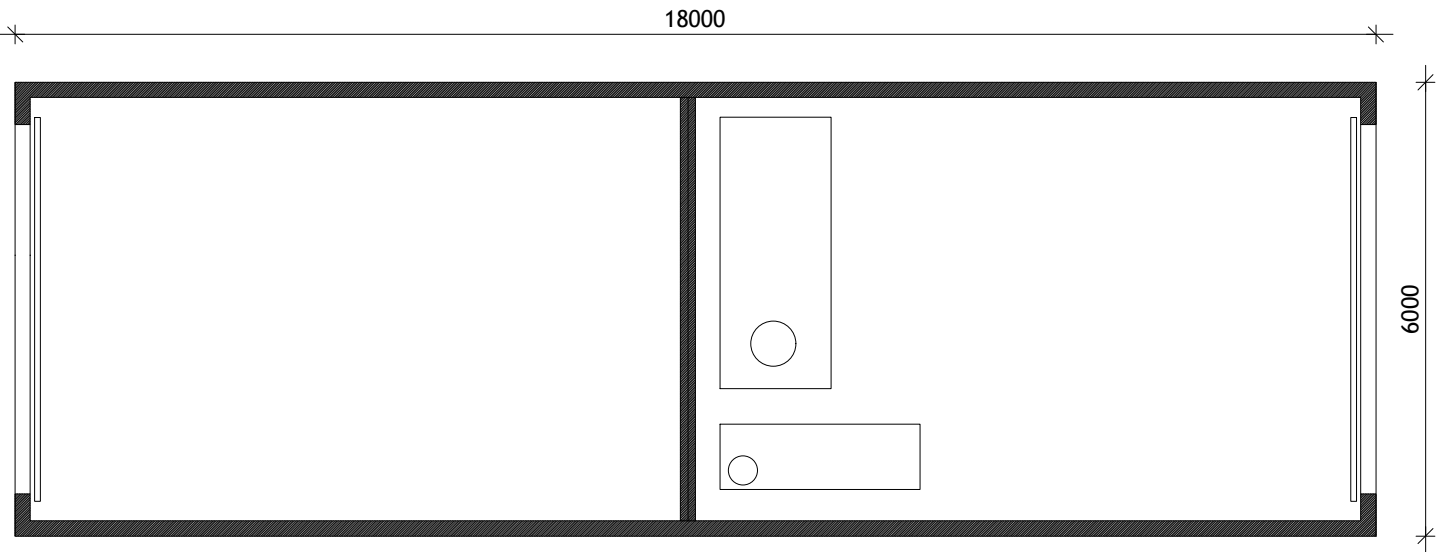


Plan prepared on 07/02/2011 at 00:00:01.

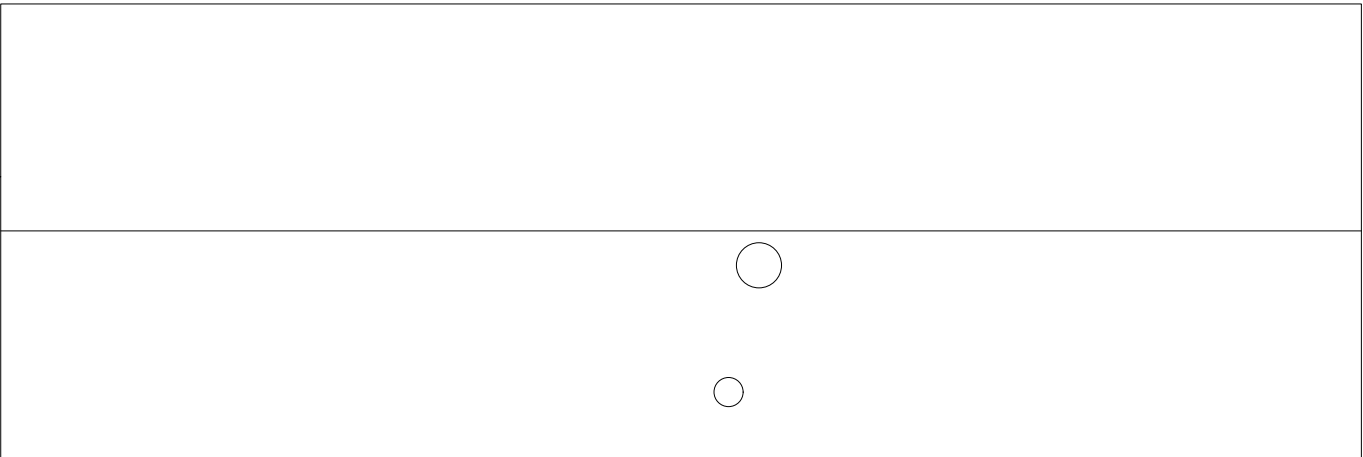
This Plan should be read in conjunction with result NS4RUJB.

This plan shows the general position, not the exact line, of the boundaries. It may be subject to distortions in scale. Measurements scaled from this plan may not match measurements between the same points on the ground. See Land Registry Public Guide 19 - Title Plans and Boundaries.

 proposed site



PROPOSED FLOOR PLAN



ROOF PLAN

GENERAL NOTES.

ALL CONTRACTORS MUST VISIT THE SITE AND BE RESPONSIBLE FOR FAMILIARISING THEMSELVES WITH THE FULL EXTENT OF THE WORKS AS INDICATED AND / OR TAKING AND CHECKING DIMENSIONS RELATIVE TO THE WORKS SHOWN.

DO NOT SCALE FROM THIS DRAWING, USE FIGURED DIMENSIONS ONLY.

ALL DIMENSIONS TO BE AGREED WITH CLIENT ON SITE.

SPECIFICATION.

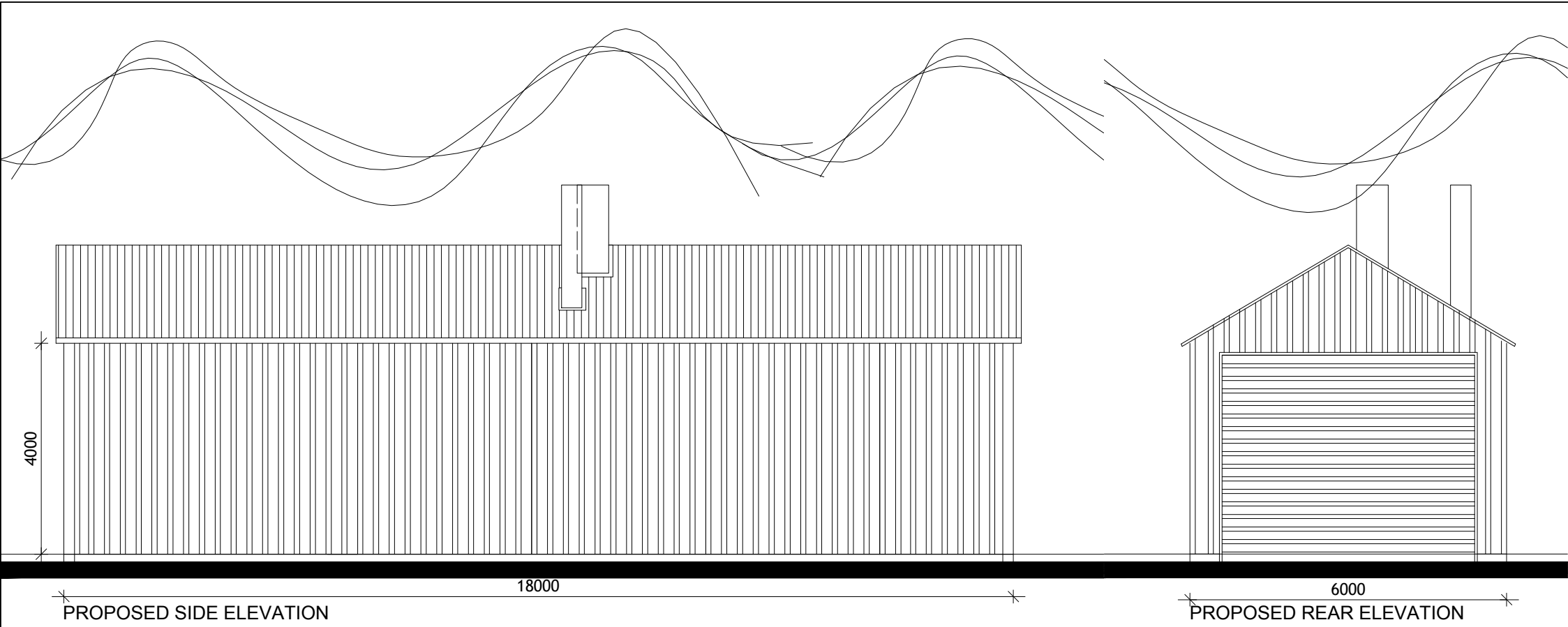
REFER TO PLANNING APPLICATION.

CLIENT G CARTER	
PROJECT Doddington Mill House Mill Lane Nantwich CW5 7NN	
DESCRIPTION OF WORKS PROPOSED STORAGE SHED	
SHEET TITLE PROPOSED FLOORPLANS	
SCALE 1:100@A3	
DATE JUNE 2022	DWG No. 004



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GENERAL NOTES.

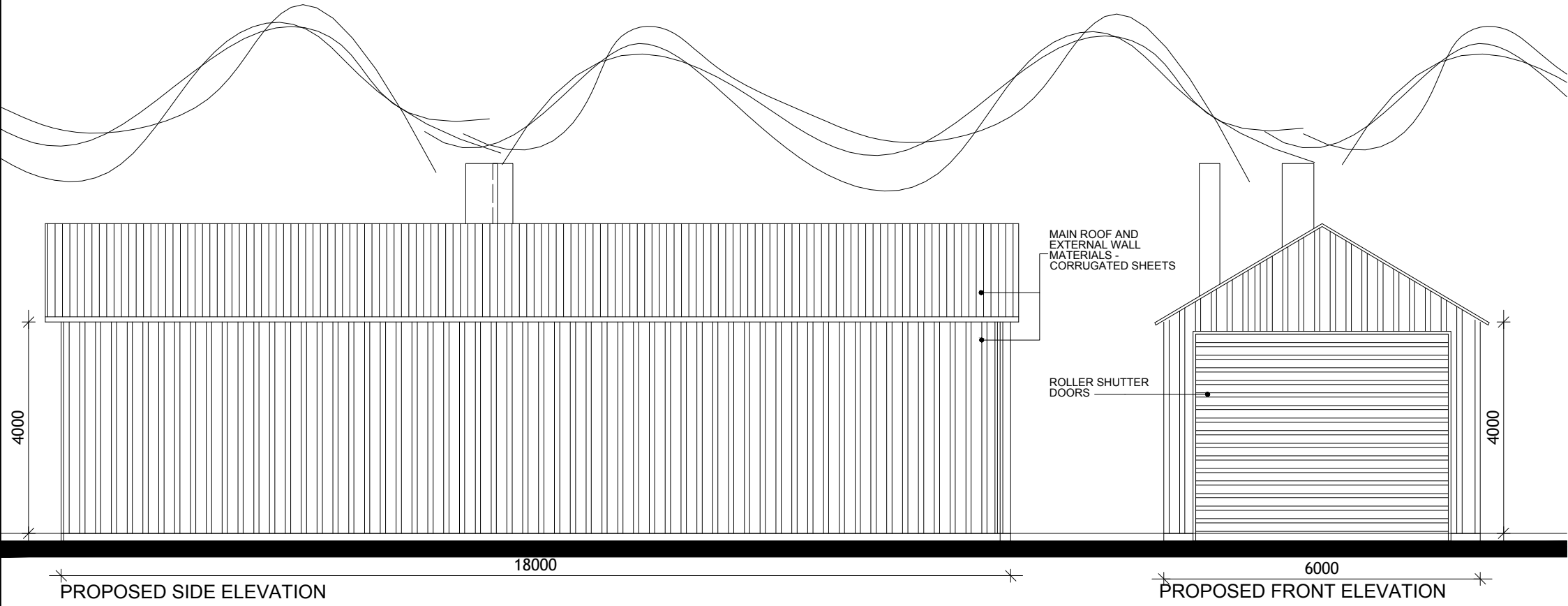
ALL CONTRACTORS MUST VISIT THE SITE AND BE RESPONSIBLE FOR FAMILIARISING THEMSELVES WITH THE FULL EXTENT OF THE WORKS AS INDICATED AND / OR TAKING AND CHECKING DIMENSIONS RELATIVE TO THE WORKS SHOWN.


DO NOT SCALE FROM THIS DRAWING, USE FIGURED DIMENSIONS ONLY.

ALL DIMENSIONS TO BE AGREED WITH CLIENT ON SITE.

SPECIFICATION.

REFER TO PLANNING APPLICATION.



CLIENT G CARTER	
PROJECT Doddington Mill House Mill Lane Nantwich CW5 7NN	
DESCRIPTION OF WORKS PROPOSED STORAGE SHED	
SHEET TITLE PROPOSED ELEVATIONS	
SCALE 1:100@A3	
DATE JUNE 2022	DWG No. 003
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Application No: 23/1366N

Location: Land at Station Yard, Station Yard, Wrenbury Road, Aston, CW5 8HA

Proposal: Full planning application for a change of use from mixed storage and retail to Class B2 along with the provision of replacement concrete plant. (resubmission of 20/4181N)

Applicant: Mr Graham Heath, Graham Heath Group Limited

Expiry Date: 01-Jun-2023

SUMMARY

Whilst in the open countryside, the development would allow for the better operation of an existing business.

Highway safety and parking implications are considered to be acceptable subject to a restriction on HGV movements.

In terms of noise, Environmental Protection are satisfied that this can be controlled by conditions.

The impact on residential amenity is considered to be acceptable.

The application is therefore recommended for approval.

RECOMMENDATION

Approve with conditions.

DEFERRAL

This application was heard at the Southern Planning Committee meeting of 2^d August 2023 and was deferred for the following reasons:

- **To review all conditions and ensure that they are enforceable**
- **Assessment of the Network Rail comments with the condition added to the recommendation**
- **Information on carbon reduction**
- **Review of Policy RUR10**
- **Consideration of the red-line (is it erroneous)**
- **Confirmation of the HGV movements from the remainder of the site edged blue**

The reasons for Deferral are addressed in the officer report below .

CALL IN

The application is referred to Southern Planning Committee at the request of former Cllr Stan Davies on the following grounds:

The Application Form states “Full planning application for a change of use from mixed storage and retail to Class B2 along with the provision of replacement concrete plant. (re-submission of 20/4181N)” i.e. as a re submission of 20/4181N with only adjustments to HGV access for the LPA to reconsider and suggesting no other review is necessary for any negative impacts on residents’ amenity or the environment. This is fundamentally wrong. Upon our detailed review of the content of the submission this is clearly not the case and is a misrepresentation of the facts as this Application has material changes, confirms amalgamation of different businesses and is an intensification of industrial activity in a rural residential location, namely:

- The Application site boundary has changed significantly moving the site approximately 40 metres northeast and the area under review for planning has been greatly enlarged by over 50%. Using the Applicant’s figures: Application 20/4181N - 4000m2 - Application 23/1366N - 6031m2*
- All previous impact assessments and reviews carried out by Cheshire East Planning must be reassessed for this new enlarged and moved site, the old ones are no longer relevant, as is suggested by the Applicant. By way of example, the internal movements of HGVs are completely different to the original Application and have not been assessed for noise or dust implications within the documentation supporting this latest application.*
- The Application site boundary now includes a large area of the adjacent Creamery Industrial Estate that is the subject of a separate previously Approved application for Graham Heath Construction (17/1573N) through which the new access to Station Yard is now proposed.*
- There has never been any historical connection in legal or planning terms nor access between Station Yard and the land on the Creamery Estate, referred to above. The applicant intends creating a completely new and unapproved access and is seeking now to formalise in planning terms the operational and physical link between Graham Heath Construction and Concrete Panel Systems.*
- The Applicant has a condition restricting HGV movements in time and number from the Concrete Panel System sites, which they suggest will be maintained for the current application site; conversely unrestricted HGV movements, in time and number, are currently permitted for Graham Heath Construction sites to be physically linked to this Application site. The Applicant has recently admitted to Planning Enforcement that product from Concrete Panel Systems operations is being moved to Graham Heath Construction sites for transportation 24/7, i.e. circumvention of the planning condition for Concrete Panel Systems. C E Planning Enforcement advises this is a permissible workaround (Complaint 23/00257E). The Planning Committee should ensure specific conditions are enacted to prevent this abuse/malpractice and maintain the intent of the original conditions such that community amenity is not compromised by HGV movements at weekends and all hours of day and night.*
- These are material & significant changes potentially creating a substantial 2.50Ha consolidated Industrial facility wholly unsuited to this rural location which is contrary to Wrenbury Neighbourhood Plan and Cheshire East Policies on Rural Development.*

- *The Application requires a full review by the Planning Committee of all aspects of the planned development not just a review of proposed new HGV access to the site.*

DESCRIPTION OF SITE AND CONTEXT

The application site has been previously used for storage and retail uses. Approval was granted in 2013 for affordable housing, but this was never implemented.

The whole site has been surfaced in concrete and concrete walls have been installed on the boundaries. The concrete batching plant has been installed on the site, but at the time of report writing is not operational.

The site is designated as being within open countryside in the adopted local plan.

A previous application (20/4181N) was refused by the Council on 10th March 2022 for the following reason:

The proposed development would allow access for heavy goods vehicles between, and in close proximity to, the two residential properties adjacent to the access, namely Station House and 1 Station Cottages. This would have an unacceptable impact on the residential amenity of these properties in terms of noise and vibration. The proposal is therefore contrary to Policy SE 12 of the Cheshire East Local Plan Strategy and Policy BE.1 of the Crewe and Nantwich Replacement Local Plan.

This decision was subject to an appeal that was dismissed on 1st March 2023.

DETAILS OF PROPOSAL

This is an application for full planning permission, for a change of use from mixed storage and retail to Class B2 along with the provision of replacement concrete plant. It is described as a re-submission of 20/4181N, although there is a different site edged red.

The application seeks to address the previous reason for refusal by excluding the access close to the railway crossing and using the access road to the east.

RELEVANT HISTORY

20/4181N - This application is for a change of use from mixed storage and retail to B2 along with the provision of replacement concrete plant – Refused 10th March 2022 – Appeal dismissed 1st March 2023

12/0447N - Provision of 21 X 70m Portal Framed Shed for casting Concrete Products Provision of 2m Diameter X 10m High Mobile Cement Silo and Three Bay Bin - 8.50 X 2.50 – Refused 23rd April 2012 – Appeal allowed 4th December 2012

11/1165 – Outline application for 16 affordable homes – Approved 25th February 2013

POLICIES

Cheshire East Local Plan Strategy (CELPS)

PG 6 Open Countryside
PG 7 Spatial Distribution of development
SD 1 Sustainable Development
SD 2 Sustainable Development Principles
EG 1 Economic Prosperity
EG 2 Rural Economy
EG 3 Existing and Allocated Employment Sited
SE1 Design
SE 2 Efficient Use of Land
SE 12 Pollution, Land Contamination and Land Instability
CO 1 Sustainable Travel and Transport

Site Allocations and Development Policies Document (SADPD)

GEN 1 Design Principles
ENV 5 Landscaping
ENV 6 Trees, Hedgerows and Woodland Implementation
ENV 12 Air Quality
ENV 14 Light Pollution
ENV 15 New Development and Existing Uses
ENV 16 Surface Water Management and Flood Risk
RUR 10 Employment Development in the Open Countryside
HOU 12 Amenity
INF 3 Highway Safety and Access

Wrenbury cum Frith Neighbourhood Plan (WCFNP)

LC1 Character and Design
LC2 Landscape Character
TR1 Footpaths, Cycleways and Towpath
TR2 Sustainable Transport
TR3 Vehicular Access to and Through the Parish
LEC1 Local Economy

Other Considerations

National Planning Policy Framework
Cheshire East Design Guide

CONSULTATIONS (External to Planning)

Flood Risk: None received at the time of report writing, however flood risk issues were addressed as part of the previous application.

Highways: No objection subject to conditions relating to HGV movements and cycle parking.

Environmental Health: No objection subject to conditions/informatives relating to noise, hours of operation and contaminated land.

Network Rail: No objection subject to conditions relating to land adjacent to the railway.

Wrenbury Parish Council: The Parish Council objects to the proposal on many grounds, these are summarised below and can be viewed in full on the Council website:

- It cannot be a re-submission as the site is larger and uses a different access
- Proposal is not compliant with adopted and made plan policies
- Visual intrusion
- Inappropriate industrial use in open countryside
- Noise, dust and disturbance
- Traffic generation and highway safety
- HGVs passing along country lanes and through conservation areas
- Errors and lack of clarity in the submitted documentation
- Applicant not complying with existing conditions
- No traffic impact assessment

Further objected to the amended site edged red and blue and the consultation response from Environmental Protection.

Following the deferral of the application the Parish Council and Carie submitted further comments. These comments raised the following issues:

- The size of the site and the need for a full reappraisal
- The alleged abuse of the HGV movement condition
- Lack of an enforceable HGV condition
- Noise management plan should refer to all operations on the site and is not comprehensive
- Dust management plan and conditions should cover all parts of the site edged red
- Policy LEC1 of the neighbourhood plan being applied to the site as a whole
- Application of Policy RUR10 of the SADPD
- Public safety
- The design of the new structures
- Working hours
- External lighting
- Drainage

Newhall Parish Council

The Parish Council also objects to the proposal on several grounds, again, these are summarised below and can be viewed in full on the Council website:

- No protection from an uncontrolled increase in HGVs
- Noise and vibration
- Danger to children
- Highway safety
- No traffic impact assessment
- Conditions not being complied with

OTHER REPRESENTATIONS

At the time of report writing, 51 objections have been received expressing the following concerns:

- Increase in HGV movements
- Damage to road surface
- Vibration caused by HGVs
- Anti-social operating hours
- Noise
- Dust
- Concrete dust is dangerous
- Application is not a re-submission and is larger
- Noise mitigation has not been put in place
- Operations are not compatible with neighbouring uses
- Acoustic report is flawed
- Non-compliance with existing conditions
- Hours of operation
- Unsuitable use for a rural area
- Local infrastructure not suitable for this business
- Poor condition of the roads
- Concerns about future expansion of the business
- Misleading information in the submitted documents
- Non-compliance with planning policy
- Retrospective nature of the application
- Danger to cyclists
- There is no connection between Station Yard and Th Creamery
- Impact on the railway
- Structure is unsightly and too large
- Inconsistencies in submitted documentation
- Destruction of railway heritage
- Business should re-locate elsewhere on a more suitable site
- Majority of workers are not local

All representations and consultation responses can be viewed in full on the Council website.

OFFICER APPRAISAL

Assessment of the Reasons for Deferral

The application was deferred by Southern Planning committee for the following reasons:

- To review all conditions and ensure that they are enforceable
- Assessment of the Network Rail comments with the condition added to the recommendation
- Information on carbon reduction
- Review of Policy RUR10

- Consideration of the red-line (is it erroneous)
- Confirmation of the HGV movements from the remainder of the site edged blue

Conditions

The conditions have been reviewed and discussed with enforcement. Having regard to the condition relating to HGV movements, the reason that officers requested that the red line was increased in size was because it enables the Council to ensure that the HGV movements are still restricted to 24, meaning that movements would not increase if this application is approved.

The Planning Inspector who allowed the 2012 appeal imposed this condition and it could not be required for other parts of the site as they were not included in the site edged red. That is the case with this application, meaning only HGVs associated with the site edged red associated with this application can be controlled. This means that imposing that condition on this application would not change the current situation.

It is not possible to control vehicle movements on other parts of the site not included in the site edged red.

In terms of the conditions proposed to control noise and dust, it is considered that these would be reasonable and enforceable.

Network Rail Comments

Network Rail have made clear that they have no objection in principle to the proposals. They have however requested conditions relating to an Armco barrier to the railway boundary, submission of details of the acoustic barrier to ensure that there is no adverse impact on the railway and dust containment measures.

They also request that HGVs do not traverse the railway and do a 3-point turn due to the risk of blocking the level crossing. Due to this application not including the access proposed as part of the 2020 application, this cannot be conditioned.

Carbon Reduction

The new batching plant is more efficient than the current one as it would use 10% less cement, would not use any mains water and would use less electricity due to the motors having lower ratings than the current motors in use. Therefore, there would be carbon reduction as a result of the change to the new equipment.

Policy RUR10 of the SADPD

Policy RUR10 sets out the following requirements:

1. Under LPS Policy PG6 'Open Countryside', development that is essential for uses appropriate to a rural area will be permitted in the open countryside. Employment development may be appropriate to a rural area where:
 - i. its scale is appropriate to the location and setting;
 - ii. the nature of the business means that a countryside location is essential; and
 - iii. the proposals provide local employment opportunities that support the vitality of rural settlements.

2. Where it is demonstrated that the proposal is appropriate to a rural area under Criterion 1, employment development will be supported where it accords with other policies in the development plan and;
 - i. the proposals make the best use of existing infrastructure such as existing buildings, utilities, parking and vehicular access;
 - ii. additional buildings, structures and ancillary development are restricted to the minimum level reasonably required for the existing or planned operation of the business; are well-related to each other and existing buildings and do not form isolated or scattered development;
 - iii. the proposal does not unacceptably affect the amenity and character of the surrounding area or landscape (including visual impacts, noise, odour, design and appearance) either on its own or cumulatively with other developments; and
 - iv. appropriate landscaping and screening is provided.
3. The design of any new building for employment purposes in the open countryside must be appropriate to its intended function and must not be designed to be easily converted to residential use in the future.

It should be noted that the site has planning permission for storage and retail of reclaimed timber and materials and as such there is already an employment use on the site. The only change is the type and level of employment use and as such the issue of whether employment development on the site is appropriate does not fall to be assessed as part of this application.

Site Edged Red

The case officer requested that the site edged red was changed in order that the HGV vehicle movements could be controlled and not increased. The location plan is clear and allows the Council to ensure that appropriate conditions can be imposed to control operations at the site.

HGV Movements Within the Site Edged Blue

There are no controls in place for vehicle movements within the remainder of the site edged blue, therefore there are no figures available for this. In addition, it does not form part of the application site and is therefore not part of this application.

Planning History

The north-eastern part of the appeal site includes a portal framed shed for casting concrete products, a batching shed, a mobile cement silo, and a three-bay bin. This was approved at appeal following the refusal of application 12/0447N, and this permission has been implemented and is operating from the site. This permission is the subject to restrictive conditions, including the following;

- The storage of materials within the site shall not exceed 2m in height
- The batching plant shall operate between the following hours; 08:00-18:00 Monday to Friday and 08:00-14:00 on Saturday with no operation on Sundays or Bank Holidays. No other machinery shall be operated, no other process carried out and no deliveries shall be taken or dispatched outside the hours of 08:00-18:00 Monday-Saturday and at no time on Sunday or Bank Holidays.
- Other when in use for access to the building, the doors of the portal frame shed for casting concrete products shall remain closed during the manufacture process.

- No development authorised by this permission shall take place until a scheme of noise mitigation, including measures addressing reversing alarms, the tamping process, and the boundary wall, together with a programme for its implementation has been submitted to and approved in writing by the local planning authority.
- No more than 24 heavy goods vehicle movements shall be made to and from the site in any one day. A register of all heavy goods vehicle movements shall be maintained and made available for inspection by the local planning authority on request. (This relates to the existing access to the south of 4 Station Cottages)

This current application also follows an earlier application which was recently dismissed at appeal (20/4181N). Application 20/4181N was refused due to the impact upon the dwellings to either side of the access between Station House and 1 Station Cottages due to noise and vibration.

This current application relates to a different and larger area edged red than application 20/4181N (in that it shifts the red-edge north-east away from the residential properties and includes the land edged red as part of application 12/0447N). This application also proposes the use of an alternative access point to the south of 4 Station Cottages (as per 12/0447N). The location and design of the concrete plant would be the same as that which was refused and dismissed at appeal as part of application 20/4181N.

The Inspector who dismissed the appeal as part of application 20/4181N did so on the basis of the impact upon the amenities of the dwellings at either side of the access (Station House and 1 Station Cottages) only, and she concluded that;

‘the proposal would be significantly harmful to the living conditions of the neighbouring occupiers of Station House and 1 Station Cottages, having particular regard to noise and vibration. The conditions suggested by the appellant would not make the development acceptable for the reasons given above. The proposal would therefore be contrary to Policies HOU 12 and RUR 10 of the SADPD, Policy SE 12 of the Cheshire East Local Plan Strategy 2010 - 2030 (2017) and Policy LEC1 of the Wrenbury Cum Frith Neighbourhood Plan 2010 - 2030. Amongst other things, these policies seek to ensure that development does not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, including in terms of noise, disturbance and vibration. The proposal would also conflict with paragraphs 130 and 174 of the Framework, which seek to ensure a high standard of amenity for existing and future users and prevent new and existing development from being adversely affected by unacceptable levels of noise pollution’

This application seeks to address the Inspectors decision by using the access to the south adjacent to 4 Station Cottages (this is the same access which was approved as part of application 12/0447N).

Principle of Development

The site lies within the Open Countryside as designated by the Adopted Cheshire East Local Plan, where policy PG6 states that within the Open Countryside only development that is essential for the purposes of agriculture, forestry, outdoor recreation, public infrastructure, essential works undertaken by public service authorities or statutory undertakers, or for other

uses appropriate to a rural area will be permitted. This policy however also lists some exceptions, the most relevant here being:

- For development that is essential for the expansion or redevelopment of an existing business.

Policy EG2 (Rural Economy) states that opportunities for local rural employment development that supports the vitality of rural settlements will be supported. This is subject to it meeting sustainable development objectives, impact on nearby buildings and residential amenity and impact on the quality of the landscape. Those issues are discussed in other sections of this report.

Policy RUR10 (Employment Development in the Open Countryside) of the SADPD states that employment development in the open countryside should be appropriate to its location and setting, the nature of the business means that a countryside location is essential and provides local employment opportunities that support the vitality of rural settlements.

Policy LEC1 of the Wrenbury Neighbourhood Plan also encourages the retention and expansion of existing businesses, including through the sympathetic conversion of existing buildings.

The new batching plant would support the operations on the wider site and to locate it on an alternative site, would result in further vehicle movements to and from the site, which is not considered to be a sustainable alternative.

The proposals would not increase operations at the site but would enable more efficient operations.

The retrospective nature of the proposal is noted, and the applicant has put forward the case that the new equipment and use of the land for operations in Class B2 (General Industrial) is essential for the ongoing operations of the Graham Heath Construction operations, which operates from the Wrenbury Creamery site. The batching plant was placed on the site before planning permission had been granted, apparently due to the 'lead-in' time for delivery of the equipment and the need to replace the existing batching plant with a more efficient one and to allow for more efficient storage of products within the wider site. Whilst the retrospective nature of the application is regrettable, it is not a reason for refusal of the application.

The proposal is therefore considered to be in compliance with Policies PG6 and EG2 of the CELPS, Policy RUR 10 of the SADPD and Policy LEC1 of the WCFNP.

Design

The batching plant is a large industrial structure reflective of its function. It is visible from some distance away, however when seen in the context of the existing industrial estate and the railway, it is not considered to be so detrimental as to warrant refusal of the application. It is also noted that the Inspector who dismissed the appeal for application 20/4181N did not do so on design grounds.

The proposal is therefore considered to be in compliance with Policies SD2 and SE1 of the CELPS and Policy GEN 1 of the SADPD.

Highways

The proposal is for a replacement batching plant at Station Yard. The site will extend the B2 use from the existing adjacent site increasing the area of the industrial use.

The previous application proposed using the access off Station Road located between residential properties (Station House and 1 Station Cottages). This is no longer proposed and instead the existing access at the southern side of the site will be used (adjacent to 4 Station Cottage). This access already serves the site including HGV movements, and this is considered acceptable.

Given that the proposal seeks to extend the B2 use over an additional area, a condition is required, as was in the previous application, to restrict the HGV movements to 24 two-way movements per day. This total number of movements relates to the application site and the existing adjacent B2 site. This is a condition imposed on the site at a previous appeal (12/0447N).

During the application process an amended location plan was submitted, including the area of land subject to appeal in 2012 (12/0447N) in the site edged red. This will enable the Council to impose the 24 vehicle movements condition to this application, thus ensuring that by allowing this application, there is no increase in vehicle movements.

Given there will be no increase in HGV movements and the existing access will be utilised, no objection is raised by the Head of Strategic Transport, subject to conditions relating to vehicle movements and cycle parking.

The proposal is therefore considered to be in compliance with Policy INF 3 of the SADPD.

Amenity

As noted above in dismissing the appeal as part of application 20/4181N, the Inspector did so on the basis of the harm caused to the dwellings at either side of the access (Station House and 1 Station Cottages) only.

This application proposes the same concrete batching plant, but now proposes the use of the southern access point (to the south of 4 Station Cottages). With the imposition of the same restrictive condition relating to HGV movements (imposed as part of application 12/0447N – no more than 24 in any one day), the proposed development would not cause any harm to residential amenity.

The Environmental Health officer has raised no objection to this application subject to the imposition of planning conditions. The proposal is therefore considered to be in compliance with Policy SE 12 of the CELPS, Policies ENV 15 and HOU 12 of the SADPD and Policy LEC1 of the WCFNP.

Drainage

This is a retrospective application and at the time of report writing Flood Risk Officers have not commented. However, the situation on site is as it was for the previous application and their comments from that are still relevant.

The applicant has submitted a drainage note, compiled by a firm of flood risk consultants and water engineers. The drainage note concludes that the existing drainage system has the capacity to convey peak flows during a 1 in 100 year plus 40% CC event. If there was a system blockage, where no flow can discharge off-site, runoff volumes can be contained within the existing rainwater storage tanks and above ground.

This drainage note was assessed by LLFA officers who were satisfied that, subject to compliance with the details set out in the drainage note, the drainage on site is acceptable.

The development is therefore in compliance with Policy SE 13 of the CELPS and Policy ENV 16 of the SADPD.

Other Matters

Many of the objectors have put forward that the application should not be considered as a resubmission because the site edged red is larger and uses a different access point for HGVs. However, the application is to be judged on its own merits, therefore the fact that 'resubmission' is referred to is not relevant.

CONCLUSIONS

Whilst in open countryside, the development would allow for the better operation of an existing business

Highway safety and parking implications are considered to be acceptable subject to a restriction on HGV movements.

In terms of noise, Environmental Protection are satisfied that this can be controlled by conditions

The impact on residential amenity is considered to be acceptable.

The application is therefore recommended for approval, subject to the following conditions:

RECOMMENDATION

Approve subject to the following conditions:

- 1. Approved plans**
- 2. No more than 24 heavy goods vehicle movements shall be made to and from the site in any one day. A register of all heavy goods vehicle movements shall be**

maintained and made available for inspection by the local planning authority on request.

3. Submission of details and provision of covered, secure cycle parking
4. The external storage of materials shall not exceed a height of 2 metres
5. The batching plant shall not operate outside the following times: 08:00 hours to 18:00 hours from Monday to Friday and 08:00 hours to 14:00 hours on Saturday, nor at any time on Sundays and bank and public holidays. No other machinery shall be operated, no other process shall be carried out and no deliveries shall be taken at or despatched from the site outside the following times: 08:00 hours to 18:00 hours from Monday to Saturday, nor at any time on Sundays and bank and public holidays
6. The hours of demolition, groundworks, deliveries and construction shall be restricted to the following times: 08:00 hours to 18:00 hours Monday to Friday, 09:00 hours to 14:00 hours Saturday, nor at any time on Sundays and bank and public holidays
7. Other than when in use for access to the building, the doors of the portal frame shed for casting concrete products shall remain closed during the manufacturing process
8. The mitigation recommended in the Acoustic Report P21-080-R01 dated March 2021 shall be implemented in full prior to the batching plant becoming fully operational
9. The mixing head enclosure shall be enhanced on the south-west and north-west elevations by the installation of an additional internal lining of 0.6mm steel with a minimum 150mm cavity partially filled with 100mm mineral wool (not rigid PIR-type insulation) in the cavity
10. Measures shall be taken to block the line of sight of the underside of the mixer head enclosure and the concrete delivery sock from the rear garden of Station House by cladding the upper sections of the supporting framework of the mixer head with an appropriately solid dense material with a minimum surface mass of 10 kg/m² (20mm thick timber or substantial 100mm composite cladding panels).
11. A 3m high acoustic barrier shall be installed along the north-western elevation of the mixer head supporting framework and extending sufficiently far out such that concrete trucks being filled will be located behind the barrier. This shall be constructed of an appropriately solid dense material with a minimum surface mass of 10kg/m² (20mm thick timber, substantial 100mm composite cladding panels and/or concrete panels. Details of this shall be submitted to the Local Planning Authority for approval in writing in consultation with Network Rail.
12. All vehicles permanently located at the site of the batching plant, used for loading, moving concrete cleaning or any other associated activity shall be fitted with 'white noise' reversing alarms to prevent noise disturbance
13. All vehicles visiting the site for deliveries or collection shall turn off engines to prevent noise nuisance from idling engines
14. Cleaning of cement mixing vehicles, particularly when inside the mixing explosives are used to remove concrete build up, shall be undertaken within a 3-sided bay or using an existing building to shield residential properties from noise.
15. When the plant is completed/commissioned. A further acoustic assessment shall be undertaken to assess whether the mitigation measures put in place are effective. Should the acoustic assessment identify adverse noise impact on residential properties, further mitigation measures shall be put in place prior to

the plant becoming fully operational. These measures shall be submitted to and approved in writing by the LPA. The agreed mitigation scheme shall be retained and maintained throughout the use of the development unless any variation is agreed in writing by the LPA

16. The weighbridge sited on Station Yard shall not be used in its current position and shall be moved to a different part of the site, details of which shall be submitted to and approved in writing by the LPA
17. In order to minimise dust emissions arising during the development, including site preparations/demolition/construction activities, a 'site specific DMP' shall be retained at the development site; and made available for inspection upon request by Cheshire East Borough Council Officers.
18. The site specific DMP shall identify the fugitive dust sources at the development site and describe in detail the dust mitigation measures to be employed.
The DMP shall include details:
 - of all dust suppression measures
 - the methods to monitor emissions of dust arising for the duration of the project
 - measures for prevention of dust and other debris blowing on to Network Rail propertyThe demolition / construction phase of the development shall be completed in full compliance with the site specific DMP.
The dust suppression measures shall be maintained and fully operational for the duration of the demolition / construction phase of the development.
19. The existing batching plant within the red edge shall be dismantled and permanently removed from the site within 6 months of the approved batching plant being brought into use.
20. Details of barriers to protect the railway from HGV vehicle movements on the boundary with the railway, shall be submitted to and approved in writing by the Local Planning Authority in consultation with Network Rail. Development shall be carried out in accordance with the approved details.
21. Development shall be in accordance with the submitted Drainage Note from Waterco (13725-Drainage Note-04).
22. Prior to installation, details of any external lighting shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

In order to give proper effect to the Southern Planning Committee's intent and without changing the substance of its decision, authority is delegated to the Planning and Enforcement Manager in consultation with the Chair (or in their absence the Vice Chair) to correct any technical slip or omission in the resolution, before issue of the decision notice.



23/1366N

LAND AT STATION YARD,
STATION YARD,
WRENBURY ROAD,
ASTON, CW5 8HA

Layout Scale: 1/500
Paper Size: A2

Page 51

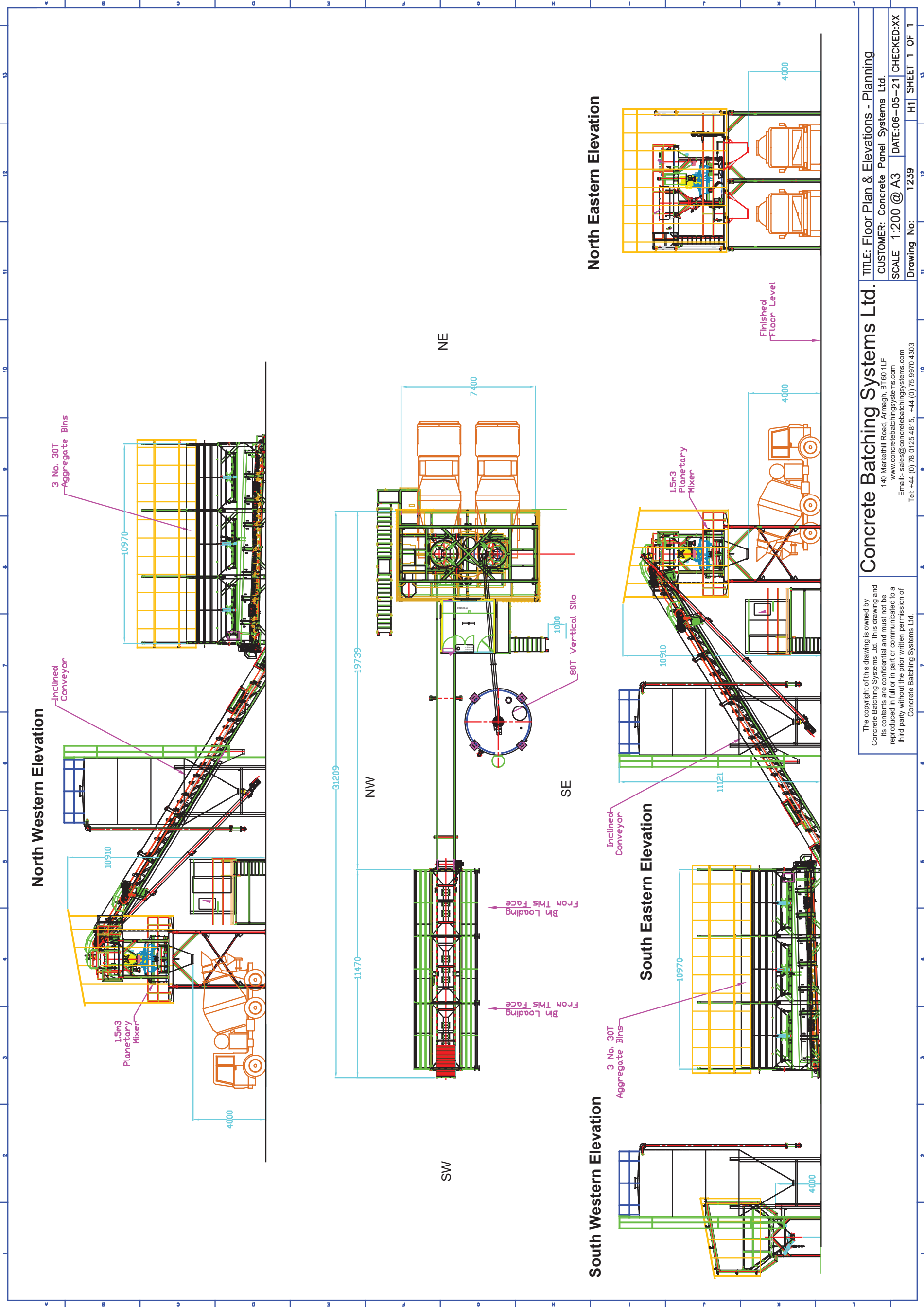
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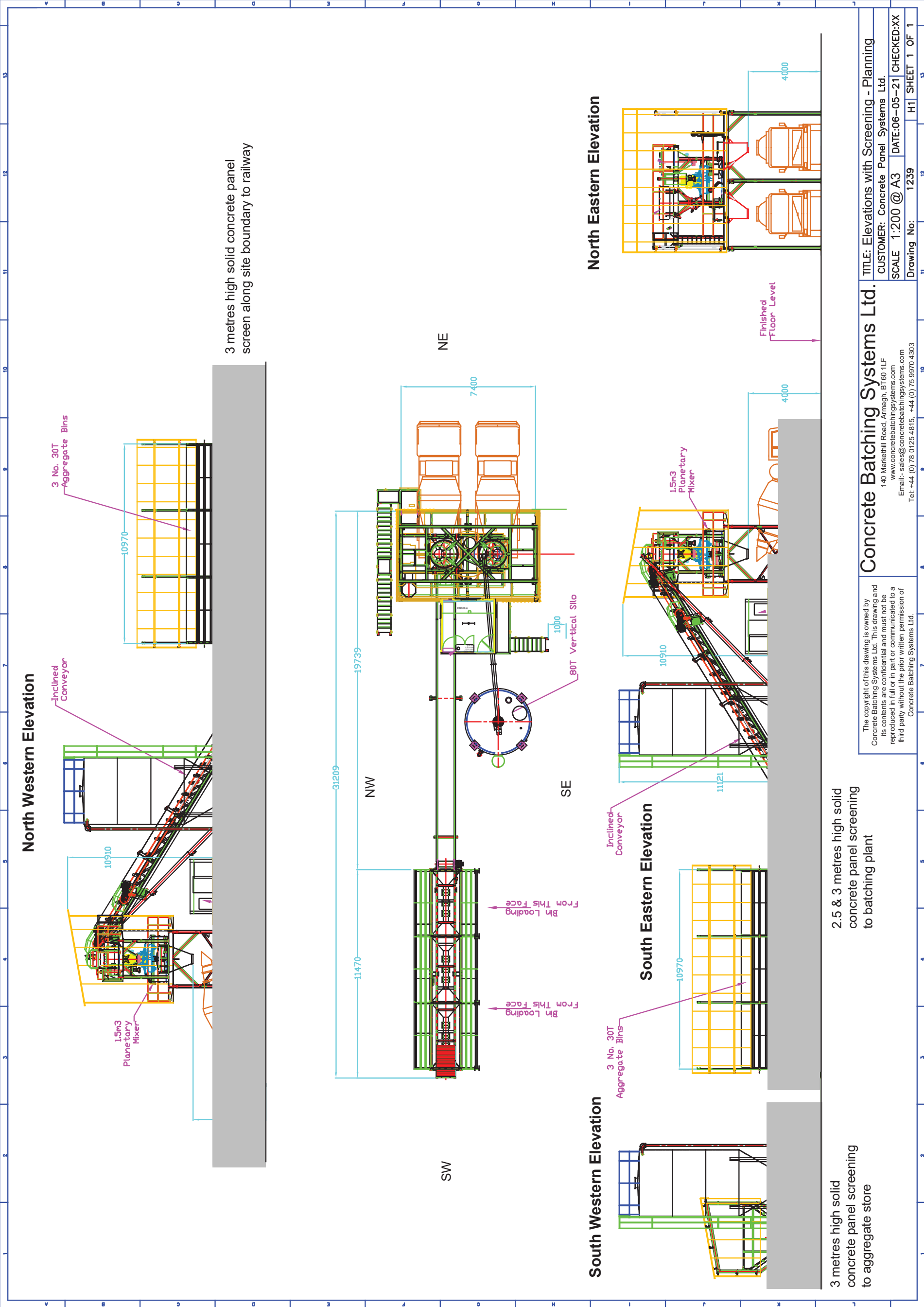
CLIENT: Mr Graham Heath
ADDRESS: Old Creamery
Wrenbury Industrial Estate
Wrenbury
Cheshire
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GRAHAM HEATH
CONSTRUCTION Ltd

**GRAHAM HEATH CONSTRUCTION LTD
THE GREAINERY
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DATE: 06-05-21
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H1 SHEET 1 OF 1

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Application No: 21/4635C

Location: THE LIMES, 3, SWEETTOOTH LANE, SANDBACH, CW11 1DB

Proposal: To v..

Applicant: Mr Michael Ladhar, Crown Care

Expiry Date: 15-Jan-2023

SUMMARY

The proposal seeks permission for the demolition of the Limes Public house and the erection of a two and half storey care home with facilities within the basement. The care home (as amended) proposes 57 beds and associated rooms and will retain the Bowling Green to the front with the building including accommodation for the Bowling Team.

The application site is located within the Sandbach Town settlement boundary. Sandbach is designated as a Key Service centre where Policy PG2 of the LPS sets out that development of a scale, location and nature that recognises and reinforces the distinctiveness of each individual town will be supported to maintain their vitality and viability. Policy PG7 of the LPS set out an aim to achieve in the order of 20 ha of employment land and 2,750 new homes.

Policy PC3 (Settlement boundary) of the Sandbach NP sets out that new development involving housing, commercial and community development will be supported in principle within the Settlement Boundary. Furthermore, policy H3 (Housing Mix & Type) sets out that new housing development should provide a mix of dwellings to meet the identified need in the area for affordable housing, starter homes and provision for housing an ageing population. The Policy goes on to set out that new developments should primarily seek to deliver the following types of market housing;

- One, two or three bedroomed housing
- Single storey housing or apartments for older people or those with reduced mobility
- Nursing and care homes and sheltered accommodation for older people.

Furthermore, Policy H 4 Housing and an ageing population of the Sandbach NP sets out that 'Any proposals to enhance and improve the quality or quantity of housing for older people or which include dementia friendly provisions within the settlement boundary will be supported'.

The Care Home proposes to cater for a mix of care options including, residential care, dementia and nursing patients. The applicant states that there is a likely need of 10%

of the population of Sandbach around 440 people will require some form of care provision, and that this is an undersupply currently within the area.

Whilst the site includes the loss of a public house, and policy REC 5 of the SADPD sets out that development proposals should seek to retain, enhance and maintain community facilities that make a positive contribution to the social or cultural life of a community. The Public House was not listed on the Assets of Community Value list when it closed in 2019 however the Bowling Green is listed and is to be retained as part of the development in accordance with Policies CW1 of the Sandbach NP, SC2 of the LPS and REC 1 of the SADPD.

Therefore, whilst there is a loss of a community asset in terms of a public house the site is located in a residential area, not far from the Sandbach Town Centre where many other public houses etc are available. The retention of the Bowling Green as a community asset is a benefit of the scheme and will help to integrate the new care facility into the community, and it is therefore considered that the principle of development is acceptable, and the benefits of provided a care home of mixed need and retaining the Bowling Green on the site, outweigh the harm caused by losing a community facility in terms of the public house in this instance. The proposal is therefore considered to be acceptable in principle subject to compliance with all other relevant policies of the development plan.

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that decisions on planning applications are made in accordance with the Development Plan unless material considerations indicate otherwise, these matters are discussed further below.

The development would provide a below standard level of parking for a facility of this size, however the short fall is small and secure cycle storage is provided within the scheme. The site is locationally sustainable just outside Sandbach Town centre. The Highways Officer has raised no objections to the scheme in terms of Highway Safety and therefore it is considered to be acceptable in this instance.

The site has raised no significant issues in relation to landscaping, forestry, amenity, public open space, impact on protected species, flood risk or drainage, subject to appropriate conditions.

It is therefore considered that the development is on balance acceptable and recommended for approval accordingly.

RECOMMENDATION

Approve subject to conditions

REASON FOR REFERRAL

The application has been referred to the Southern Planning Committee as it is a Small-Scale major development of over 20 units.

PROPOSAL

Full Planning Permission is sought for the Demolition of The Limes Public House and Construction of a new 57no bed Care Home with car parking and landscaping.

SITE DESCRIPTION

The application site relates to a former Public House with an adjoining Bowling Green. The public house has been closed for some time. The bowling green is located to the front of the pub and is available for use.

The application site is located within the settlement boundary for Sandbach. The Bowling Green is protected open space and an Asset of Community Value.

There are two TPO trees on the site, one at the front of the site and one to the rear of No.5 Sweettooth Lane.

RELEVANT HISTORY

16/2577C – Installation of replacement signage including freestanding point of display, 1no. freestanding poster display sign, 1no. freestanding banner frame, 1no. signwritten lettering – approved with conditions 18th July 2016

16/2294C – New external access ramps with accompanying handrails and balustrades. New timber cladding and stone coping to existing dwarf walls to the entrance on the East elevation. New paved area to North entrance and new posts & rope. Infill existing door opening to store and new external door to kitchen – approved with conditions 5th July 2016

32129/3 – Rear and side extensions to existing public house. Internal and external refurbishment – 24th July 2000

29048/9 – Erection of brewery signage – approved with conditions 20th June 1997

20134/9 – illuminated signs – Approved with conditions 13th September 1988

21553/3 – New bay window to front elevation – approved with conditions 26th October 1989

14121/3 – FLOODLIGHTS TO BOWLING GREEN – Approved with conditions 22nd June 1982

4226/3 – Siting of bowling club pavilion – Approved with conditions 20th September 1976

PLANNING POLICY

Cheshire East Local Plan Strategy (CELPS)

MP1 (Presumption in favour of sustainable development)
PG1 (Overall Development Strategy)
PG2 (Settlement Hierarchy)
PG7 (Spatial Distribution of Development)
SD1 (Sustainable Development in Cheshire East),
SD2 (Sustainable Development Principles),
IN1 (Infrastructure)
IN2 (Developer Contributions)
EG3 (Existing and Allocated Sites)
SC1 (Leisure and Recreation)
SC2 (Indoor and Outdoor Facilities)
SC3 (Health and Wellbeing)
SC4 (Residential Mix)
SE1 (Design)
SE2 (Efficient Use of Land),
SE3 (Biodiversity and Geodiversity)
SE4 (The Landscape),
SE5 (Trees, Hedgerows and Woodland),
SE6 (Green Infrastructure)
SE8 (Renewable and Low Carbon Energy)
SE9 (Energy Efficient Development)
SE11 (Sustainable Management of Waste)
SE12 (Pollution, Land Contamination and Land Instability)
SE13 (Flood Risk and Water Management)
CO1 (Sustainable Travel and Transport)
CO4 (Travel Plans and Transport Assessments)
Appendix C: Parking Standards

Site Allocations and Development Policies Document (SADPD)

PG9 Settlement Boundaries
GEN 1 Design principles
ENV 1 Ecological network
ENV 2 Ecological implementation
ENV 3 Landscape Character
ENV 5 Landscaping
ENV 6 Trees, hedgerows and woodland implementation
ENV 15 New Development and existing uses
ENV 16 Surface water management and flood risk
HOU 2 Specialist housing provision
HOU 10 Amenity
HOU 12 Housing Density
HOU 13 Housing delivery
INF 3 Highway Safety and access
REC1 Open Space protections

REC 3 Open space implementation
REC 5 Community Facilities

Sandbach Neighbourhood Plan – Second Edition
Modified and Made 2022

PC3 Settlement Boundary
PC4 Biodiversity and Geodiversity
H2 Design and Layout
H4 Housing and an ageing population
IFT2 Parking
CW1 Amenity, Play, Recreation and Sports Facilities
CW2 Sport and Leisure Facilities
CW3 Health

Other Considerations

National Planning Policy Framework (NPPF)
National Planning Practice Guidance
The EC Habitats Directive 1992
Conservation of Habitats & Species Regulations 2010
Circular 6/2005 - Biodiversity and Geological Conservation - Statutory Obligations and Their Impact within the Planning System

CONSULTATIONS

CEC Head of Strategic Infrastructure (Highways) – No objections, subject to a condition for Construction Management Plan and informative for S278

CEC Environmental Protection – No objections to the proposal subject to conditions regarding external lighting, electric vehicle charging points, ultra-low emission boilers, Phase II contaminated land report, remediation scheme implementation, verification report, soil importation materials, unexpected contaminated land.

CEC Flood Risk – No objection in principle. Conditions suggested for implementation of drainage layout/strategy

CEC Housing – No Objections.

United Utilities – No objections subject to conditions regarding implementation of drainage scheme, foul and surface water systems, and sustainable surface water drainage scheme.

Cheshire Police Design Out Crime Officer – Request further information in terms of general site security, access control considerations, CCTV and lighting.

Sandbach Town Council - Members object on the grounds that this is over-intensive for the site and does not allow sufficient width for safe access/movement to the east/west of the building.

REPRESENTATIONS

Letters of representation have been received from approximately 22no households. The main issues raised are summarised below (full responses available to view on the website);

- Highways safety issues; busy road, lack of parking provision for occupants, staff and visitors, impact during construction, where will the Bowling Team park when games are played.
- Design issues; out of character with the surrounding area, over development of the site, scale and height at 3 and half storeys is too tall.
- Site would be more suitable for an affordable housing scheme.
- Amenity – impact due to close proximity, overshadowing, overbearing impact, overlooking from windows and roof terrace, noise from extractor fans, lighting impact.
- Concerns raised over access width and emergence services being able to access the care home.
- Levels of surrounding development lower by 1m that application site
- Increased of utilities in the area raises concerns, recently been burst pipes in the area.
- Concerns that the bowling green will be under threat of development in the future.
- Already other care homes in the area, question if this is needed in this location.
- The site has only recently been properly secured after a fire occurred on the site.
- More Greenspaces should be created not more development.
- Sandbach needs better infrastructure, e.g., schools, community centres not more housing development.
- Concerns over the need for piling foundations.
- Concerns raised over the management of the site and impact it will have on the Bowling Club including a 3 months termination period included in the lease of the land to the Club.
- The Bowling Green has been in use for over 40 years and the members have help with the upkeep of the area around the green for many years
- Impact on habitat and landscaping currently on the site
- Room sizes are very small, with very little communal areas internally and externally.

Letter of support have been received from 6no households. The issues raised are;

- Support from Members of the Bowling Club which will ensure the continued use of the bowling green and use of part of the building.
- Care homes are needed for the ageing population.
- Good location for a care home near a bungalow development
- The pub was clearly not viable and has been left to become dilapidated.
- There is a significant need for dementia care in the locality

OFFICER APPRAISAL

Principle of Development

The proposal seeks permission for the demolition of the Limes Public house and the erection of a two and half storey care home with facilities within the basement. The care home (as amended) proposes 57 beds and associated rooms and will retain the Bowling Green to the front with the building including accommodation for the Bowling Team.

The application site is located within the Sandbach Town settlement boundary. Sandbach is designated as a Key Service centre where Policy PG2 of the LPS sets out that development of a scale, location and nature that recognises and reinforces the distinctiveness of each individual town will be supported to maintain their vitality and viability. Policy PG7 of the LPS set out an aim to achieve in the order of 20 ha of employment land and 2,750 new homes.

Policy PC3 (Settlement boundary) of the Sandbach NP sets out that new development involving housing, commercial and community development will be supported in principle within the Settlement Boundary. Furthermore, policy H3 (Housing Mix & Type) sets out that new housing development should provide a mix of dwellings to meet the identified need in the area for affordable housing, starter homes and provision for housing an ageing population. The Policy goes on to set out that new developments should primarily seek to deliver the following types of market housing;

- One, two or three bedroomed housing
- Single storey housing or apartments for older people or those with reduced mobility
- Nursing and care homes and sheltered accommodation for older people.

Furthermore, Policy H4 Housing and an ageing population of the Sandbach NP sets out that 'Any proposals to enhance and improve the quality or quantity of housing for older people or which include dementia friendly provisions within the settlement boundary will be supported'.

The Care Home proposes to cater for a mix of care options including, residential care, dementia and nursing patients. The applicant states that there is a likely need of 10% of the population of Sandbach around 440 people will require some form of care provision, and that this is an undersupply currently within the area.

Therefore, the proposed use is considered to be acceptable in principle subject to compliance with all other policies within the development plan.

Loss of community facility

REC 5 of the SADPD sets out that development proposals should seek to retain, enhance and maintain community facilities that make a positive contribution to the social or cultural life of a community. The Public House was not listed on the Assets of Community Value list when it closed in 2019 however the Bowling Green is listed.

The Public House has been vacant for over 4 years and the current owners Crown Care intend to retain the Bowling Green to the front of the site and have incorporated areas within the building for the Bowling Club members. Therefore, whilst there is a loss of a community asset in terms of a public house the site is located in a residential area, not far from the Sandbach Town Centre where many other public houses etc are available. The retention of the Bowling Green as a community asset is a benefit of the scheme and will help to integrate the new care facility into the community.

Retention of the Bowling Green

The Limes Bowling Green is listed as an Amenity, Play, Recreational and Sports Facility (Policy CW1) within the Sandbach NP and is allocated as Public Open Space within the Development Plan, policy SC2 of the LPS and REC 1 of the SADPD, where the policies seek to retain sports

pitches/open space provision unless an assessment has been undertaken which shows that there is a surplus of such provision in the area. It is therefore considered that the retention of the Bowling Green is a benefit of the scheme and accords with the relevant policies of the development plan.

Conclusion

It is therefore considered that the principle of development is acceptable, and the benefits of providing a care home of mixed need and retaining the Bowling Green on the site, outweigh the harm caused by losing a community facility in terms of the public house in this instance. The proposal is therefore considered to be acceptable in principle subject to compliance with all other relevant policies of the development plan.

Locational Sustainability

Both policies SD1 and SD2 of the CELPS refer to supporting development in sustainable locations. Within the justification text of Policy SD2 is a sustainable development location checklist.

The site is within the Sandbach Town settlement which is categorised as a Key Service centre where Policy PG2 of the LPS sets out that development of a scale, location and nature that recognises and reinforces the distinctiveness of each individual town will be supported to maintain their vitality and viability. The site is considered to be locationally sustainable, and within walking distance of a number of services largely within the Town Centre which is approximately 0.5 miles away by foot. Within the town centre is a Bus Service Station which links the town to the wider area.

Provision of C2 and older persons accommodation

Criteria 3 of LPS policy SC4 'Residential Mix' of the LPS states that development proposals designed specifically for the elderly and people who require specialist accommodation will be supported where there is a proven need; they are located within settlements; accessible by public transport; and within a reasonable walking distance of community facilities such as shops, medical services and public open space.

In this instance the use proposed under C2 is as a true care home for residential care, dementia care and nursing care. The site is locationally sustainable as set out above and the majority of services are available within the town centre of the Sandbach. The proposal is in general compliance with policy SC4 and therefore is considered to be acceptable.

Affordable Housing

Cheshire East Local Plan Strategy Policy SC5 (Affordable Homes) sets out the requirements for triggering affordable housing delivery across the borough. This is a development in Sandbach which is a Key Service Centre. Affordable housing is required in Key Service Centres where there are 15 or more dwellings proposed, or the site is greater than 0.4 hectares.

This proposal is for 57 units all being solely bedrooms with communal eating/lounge etc, they are not separate dwellings (no apartments). The Housing SPD states in paragraph 8.6 C2 Residential Institutions the below.

- Use for the provision of residential accommodation and care to people in need of care (other than a use within class C3 (dwelling houses)).
- Use as a hospital or nursing home.
- Use as a residential school, college, or training centre.

The Housing SPD further states in paragraph 8.9 The UCO defines care as personal care for people in need of such care by reason of old age, disablement, past or present dependence on alcohol or drugs or past or present mental disorder, and in class C2 also includes the personal care of children and medical care and treatment. For the purposes of this SPD, a residential care or nursing home for older people or people with a disability is expected to fall within use class C2.

8.10 With regards to schemes such as retirement housing/villages or supported housing, these can fall within use class C2 or C3 depending on factors such as the need and availability of care and the type of care products, access and other services and facilities provided on site. Planning Practice Guidance states that it is for the local planning authority to consider which class a particular development may fall.

The site is to accommodate true C2 care homes use with bedroom only, and no apartments etc, it is therefore unreasonable to require affordable housing provision in this instance.

Open Space

This is a 57 bed C2 residential care home application therefore Policy SE6 is not triggered, nevertheless it is important that sufficient quality open space is provided for residents.

The Council's Leisure Officer notes that the retention of the bowling green to the front of the building is most welcome, however this is an existing facility and additional space should be provided. The Landscape section in the submitted DAS refers to a secure garden for residents to the rear of the care home where a patio area with seating is to be provided along with planting, lawn to encourage wildlife, highly scented area for those with visual impairments and potentially a potting shed. The Leisure Officer also suggests that the area includes raised planters, and the use of water in the form of babbling boulder/sphere or similar which is also good for the visually impaired but being mindful dementia patients can find background noise distracting. It is further suggested that the applicant engages with Alzheimer's Society who have a wealth of resources. Wide accessible pathways should link the various features.

Therefore, the Leisure Officer has raised no objections to the scheme but considered that the detailed information in terms of hard and soft landscape along with levels should be submitted. This can be achieved by condition.

It is also considered that a Management and Maintenance scheme of the Bowling Green should be submitted for approval to ensure the use is retained and maintained accordingly.

Health

The NHS have been consulted on the application and have raised no comments to the scheme and have not requested any financial contributions.

Residential Amenity

The application site is bounded by residential development. There is a mix of house types surrounding the site however the adjoining houses are largely single storey or one and half storey in height.

The amended scheme has reduced the building from 3 storeys to two and half storey with an additional storey within a basement. The building will be larger than the existing two storey pub, in terms of height, mass and footprint.

Policies HOU12 and HOU 13 of the SADPD set out the general principles required for new development in to help safeguard neighbouring amenity and the future occupiers of a development. Table 8.2 sets out that there should be a separation distance of 21m retained for rear principal windows facing each other, reduced down to 14m for habitable rooms having non-habitable rooms. In terms 3 storeys or above the distance between principal windows should be increased to 24m back-to-back; and 16.5m between principle and non-habitable rooms.

The reduction by a floor, as would be expected, has had a significant impact on the building's mass and its dominance over neighbouring properties. The depth to the elevations and the variations in the roofline serve to further reduce this bulk, with the stepping down to the rear of the building, significantly reducing the dominance over the homes on Belmont Avenue.

To the rear are several one and half storey dwellings which have rear elevations which face towards the application site. All of the dwellings have a rear garden length of a minimum of 10m from the boundary line. The main part of the building is two and half storey with accommodation located within the roof. There is a two-storey projection to the rear which accommodated bedrooms and staircases. There is only 1 window proposed on this outrigger section and that is a ground floor level and serves a corridor and is shown as obscure glazed. This element of the development will be located at least 17m at the smallest distance between the rear elevations of No. 27 – No. 33 Belmont Avenue. The building then increases to two and half storey further back into the site. The rear elevation has several principal windows serving bedrooms. The building will be located 25m away from the rear elevations of No.25 and 27 Belmont Avenue, increasing to around 27m between No.29 – No.35 Belmont Avenue. Due to the separation distances achieved, whilst the dwellings will see the building and it will appear more prominent than the existing pub, it is unlikely to cause any significant harm in terms of overlooking, overbearing impact or overshadowing and meets the required separation standards.

There is a cul-de-sac of single storey bungalows, named Greenacres to the southwest of the site. The closest bungalow is at an angle to the site and has no windows on the side elevation of the dwelling on Greenacres. The proposed care home's will be located around 12m away at its closest. At this point the building is two storey in height and has no windows. There are two windows proposed at ground floor level to serve a communal dining room located 15m away from dwellings on Greenacres. There is also a public footpath along the side of the dwellings and existing tree coverage which is proposed to be retained.

The building reduces to a single storey flat roof projection on the frontage which contains the bowling greens Teams room. There is also a balcony area proposed above which it is

considered could be conditioned to have obscure glazing or some form of treatment to reduce any overlooking into the gardens of the dwellings on Greenacres at this point.

The building to the rear of the site is then three-storey with principal windows to habitable rooms but this is staggered back into the site and a separation distance of at least 25m is achieved with no direct overlooking of windows in the dwelling. Whilst the windows look towards the garden area this is sufficient distance to not have a significant impact on neighbouring amenity.

To the north of the site No.23 Belmont Drive has a long garden which stretches the full length of the boundary to the point of the car park where the TPO tree is located. The building is located approximately 3m from the boundary of the site at this point. Although it is only two storey at this point and there are no windows located on the elevations closest to the neighbour's boundary. There is a door at ground floor level but no windows. Therefore, the building will create no overlooking at this point. Furthermore, due to the design which sees the roof and building line stepped in and out this will help to break up the visual impact of the development on the garden area of the neighbours. There are some windows in the elevations further into the site, however they are located over 22m from the boundary and do not directly overlook any windows in the neighbours dwelling.

There is also a dwelling to the front/east of the site located off Sweettooth lane, the majority of the site will remain the same adjacent to the neighbour's house, with the access running to the side. The two TPO trees are located along the boundary with the neighbours and therefore as these are afforded protection will help to retain a level of mitigation. The building is located around 21m away from the rear elevation of No. 5 Sweettooth Lane, there are three principal windows which face towards the boundary but will not directly overlook the garden due to their position within the elevation.

It is therefore considered that the building has been designed in such a way that it will not have a significant detrimental impact on neighbouring amenity by means of overlooking, overbearing or overshadowing.

The building will have communal amenity space, and the site will retain the public Bowling Green to the front of the site. Whilst the communal space is small it is considered to be sufficient in this instance given the Bowling Green will also be on site to the front.

Environmental Protection have raised no objections to the proposal subject to conditions regarding external lighting, electric vehicle charging points, ultra-low emission boilers, Phase II contaminated land report, verification report, soil importation materials, unexpected, contaminated land. These conditions are considered to be reasonable.

It is therefore considered that the proposal is acceptable in terms of neighbouring and future occupier amenity.

Design

The site is located in an established residential area and currently contains a vacant two storey public house which sits to the rear of the site behind a bowling green. The dwellings close by are mainly bungalows, with some 1.5-storey dormer type homes backing on to the rear of the

site and 2-storey homes to Platt Avenue over Sweettooth Lane. There is no overriding architectural style with nearby homes being mid-late 20th century.

The scheme has been revised to address issues raised by the Council's Design Team. The Design Officer has advised that the amended proposals are now considered acceptable in terms of design and impact on the character and appearance of the area.

The Design Officer notes that the reduction of the building footprint by 129 sqm has enabled the reduction of the pinch points around the edge of the scheme and an increase in the key distances to neighbouring properties. This has also had the added benefit of increasing the amenity space.

The reduction by a floor, as would be expected, has had a significant impact on the building's mass and its dominance over neighbouring properties. The depth to the elevations and the variations in the roofline serve to further reduce this bulk, with the stepping down to the rear of the building, significantly reducing the dominance over the homes on Belmont Avenue.

The Design Officer previously raised issues over contextuality, and the specific materials to be used should therefore be conditioned for approval in line with the guidance set out in the Cheshire East Borough Design Guide (2017, i and ii) for the relevant character area.

Overall, the Design Officer considers that the revised scheme is now acceptable, particularly the removal of the additional storey, and therefore subject to conditions for external and surfacing materials the previous objection on design grounds has been lifted.

Highways

The application proposes a residential care home with 57 beds, and 23 no car parking spaces and maintaining access from Sweettooth Lane. The application site consists of a former Public House and associated car parking and a bowling club, with access taken off Sweettooth Lane which is a minor unclassified road. The bowling club has no on-site car parking and instead had an informal agreement to use the Public House car park.

The site is within the urban area of Sandbach with existing pedestrian infrastructure allowing for a short walk from the surrounding residential areas and the town centre. Pedestrian access is also available to nearby bus stops which provide frequent services to other parts of Sandbach and other surrounding towns and villages in Cheshire.

The existing access will be used but narrowed slightly to allow for additional on-site parking along the internal access. The access will be 4.8m wide at point of access and widen to 6m within the site, and the Strategic Highways Officer considers this to be sufficient width to cater for the development.

Swept paths have been carried out demonstrating that larger vehicles such as emergency or refuge vehicles have sufficient room to turn within the site and enter and exit in a forward gear.

The proposal includes 23 car parking spaces of standard sizes and cycle parking, and the site will also have 57 rooms and a maximum of 16 staff on site at any given time. Comparing with CEC parking standards this development would require 27 parking spaces, and is therefore

short by 4 spaces. CEC parking standards do allow for a level of flexibility depending on the development location. The site is considered to be in a very sustainable location and therefore the small reduction in parking is considered acceptable. If any overspill was to occur it would be infrequent, small in numbers, and onto a minor unclassified road only.

The bowling green club has no on-site parking associated with it as is currently the case. The club has an informal agreement with the Public House owner to use the current car park, and this informal agreement can continue at the discretion of the future owners/occupiers. With regarding to the bowling club, in planning terms, there is no change or reduction in parking provision.

During the busiest hour of the day the development will generate approximately 12 vehicle trips, and the highways impact considered to be minimal and when compared to the fall-back use of the public house; the impact upon the local highway network non-material.

The Strategic Highways Officer therefore confirms that the proposed development is acceptable, and no objection is raised subject to a condition for a Construction Management Plan and an informative relating to the need for a Section 278 agreement.

Landscape

This is an application for the demolition of existing buildings and erection of a care home (Use Class C2) with associated access, parking, landscaping and infrastructure. The proposed development would increase the footprint of development significantly from the existing situation, however the majority of the site is currently hard standing with trees and shrubs to the edges of the site, and the Bowling green located to the front. There is a lack of information supplied with the application in terms to the proposal hard and soft landscaping of the site, nevertheless this can be dealt with by means of condition to ensure a suitable scheme is achieved.

Whilst there is limited opportunity for additional planting and landscaping and the proposed site plan show very little detail in this regard, it is considered necessary to condition the submission of a detailed soft and hard landscaping scheme, levels details and boundary treatment.

Trees

The application site benefits from established tree cover afforded protection by the Congleton Borough Council (Sweettooth Lane, Sandbach) Tree Preservation Order 1995. The application has been supported by an Arboricultural Impact Assessment dated May 2021. The survey has considered trees within and adjacent to the proposed development area and identified 4 individual (including 2 trees afforded protection by the TPO) and 1 group of moderate quality B Category trees, 2 individual and 2 groups of low quality C Category trees and 1 individual and 1 group of poor quality U Category trees which are considered unsuitable irrespective of the development proposal.

The AIA suggests that 1 group of U Cat trees will be lost to accommodate the proposal. While there are no objections to the losses of poor-quality trees there are concerns regards the impact of the proposed site layout on trees to be retained.

Initially the Forestry Team raised concerns with the social proximity of the building with the TPO tree T2, the location of the parking spaces under tree canopies and the location of the temporary site office under T2, and could not support the scheme.

The applicants have submitted a revised site plan since those comments and additional information to support the scheme in terms of the impact on the trees.

The Forestry Officer has considered the additional information supplied and has made the following comments;

Car Parking Spaces (T1 and T2)

The issues raised by initially by our Team are perfectly reasonable response to anticipated design conflicts and to seek design improvements where impacts on trees can be minimised. Reference is made to Arboricultural Association Guidance Note 12 *The use of Cellular Confinement Systems near Trees*.

BS5837:2012 guidance is clear that the default position should be that development should occur outside the Root Protection Area of trees unless there is an overriding justification. It is noted from the highway comments that car parking is short on CEC parking standards but deemed to be acceptable. Therefore, any further reduction in car parking provision would unlikely be acceptable to the Highway Authority and the Arboriculturist confirms there is no alternatives for car storage. Having regard to the issue of offset RPA; The Arboricultural Consultant has stated that this was considered but the adjacent garden wall, access road, bowling green and highway would not have caused a major constraint to root morphology and goes on to state opinions on the structure of the wall , highway and access road , which are merely conjecture without any supporting evidence. Excavation of trial holes would have provided a more obvious and accurate assessment of root morphology.

Notwithstanding this, the Forestry Officer is of the opinion that the area of encroachment into the RPA is relatively modest; the tree appears to be of good vitality and is partially surrounded by existing hard standing which it appears to have adapted to. The provision of a technical root friendly solution in accordance Guidance Note 12 and design guidance in BS5837:2012 is on balance acceptable subject to the submission of a detailed construction specification and on site supervision.

Removal of Vegetation G2

The removal of vegetation within the RPA and any likely excavations can be covered by a method statement and site supervision.

Temporary Site Office

The Forestry Officer has no fundamental objections to the location of the site cabins. However, notes that clarification is required as to whether the existing garage/cabin is to be utilised or removed as the draft Tree Protection Plan shows the buildings to be retained.

Proposed relationship of building to T2 and offsite trees

Revision H shows a greater separation to offsite trees to the southwest. The relationship to T2 appears to have been slightly improved and a measured distance of around 15 metres. Here a greater separation would have been preferable and given greater assurance in limiting future

requests for pruning. Concerns are still raised to the potential impact on shading, locational proximity to the trees etc, however, notwithstanding this, the Forestry Officer is reasonably satisfied that the relationship is defensible, should it be raised as a future concern.

Site Plan

It is standard practice for a Tree Protection Plan as part of an AIA to include trees for retention and removal and referenced accordingly. The plan submitted with the AIA is Revision A and should be updated to Revision H with the relevant Tree protection detail, referencing and methodology included. This can be dealt with by conditions.

The Forestry Officer therefore has confirmed that on balance the scheme is now acceptable subject to conditions which will require the submission of updated Tree Protection Plan with an updated Arboricultural Method Statement in accordance with Local Plan Policy SE 5.

Ecology

The Council's Ecologist has been consulted on the application which is supported by a bat survey report.

The Council's Ecologist has confirmed that no evidence of roosting bats was recorded during the submitted surveys. The temperature was however slightly low during the initial bat activity survey and no internal inspection of the building was undertaken, which may have reduced the effectiveness of the survey. Considering the lack of evidence of roosting bats and the abundance of alternative roosting opportunity in the vicinity the Council's Ecologist advises that on balance roosting bats are not reasonably likely to be present or affected by the proposed works.

If planning consent is granted the ecologist has suggested conditions for safeguarding nesting birds and to ensure features are incorporated to enhance the biodiversity value of the proposed development. These conditions are considered to be reasonable.

Air Quality

Policy SE12 of the Local Plan states that the Council will seek to ensure all development is located and designed so as not to result in a harmful or cumulative impact upon air quality.

The Environmental Health Officer has requested the following conditions in relation to air quality;

- Electric Vehicle Infrastructure
- Ultra Low Emission Gas Boilers

Subject to the imposition of these conditions the impact upon air quality from this development is considered to be acceptable.

Flood Risk and Drainage

The Flood Risk team have confirmed that there are no objections into the scheme subject to the development being carried out as set out in the drainage layout/strategy submitted.

United Utilities have been consulted on the application have raised no objection, subject to conditions for the implementation of the drainage scheme, foul and surface water to be drained separately and a detailed strategy for SUDs to be submitted.

Other Matters

The majority of issues raised within the consultations/neighbour concerns have been addressed above within the main assessment of the scheme.

It is noted that the Design out Crime Officer has raised some concerns with the level of detail in relation to security of the site, but the level of detail requested goes beyond the planning remit and will be for the applicant to implement accordingly. Some of the concerns in relation to boundary treatment and lighting are to be controlled by conditions however details of CCTV and security measures are not reasonable to condition.

PLANNING BALANCE

The proposal seeks permission for the demolition of the Limes Public house and the erection of a two and half storey care home with facilities within the basement. The care home (as amended) proposes 57 beds and associated rooms and will retain the Bowling Green to the front with the building including accommodation for the Bowling Team.

The application site is located within the Sandbach Town settlement boundary. Sandbach is designated as a Key Service centre where Policy PG2 of the LPS sets out that development of a scale, location and nature that recognises and reinforces the distinctiveness of each individual town will be supported to maintain their vitality and viability. Policy PG7 of the LPS set out an aim to achieve in the order of 20 ha of employment land and 2,750 new homes.

Policy PC3 (Settlement Boundary) of the Sandbach NP sets out that new development involving housing, commercial and community development will be supported in principle within the Settlement Boundary. Furthermore, policy H3 (Housing Mix & Type) sets out that new housing development should provide a mix of dwellings to meet the identified need in the area for affordable housing, starter homes and provision for housing an ageing population. The Policy goes on to set out that new developments should primarily seek to deliver the following types of market housing;

- One, two or three bedroomed housing
- Single storey housing or apartments for older people or those with reduced mobility
- Nursing and care homes and sheltered accommodation for older people.

Furthermore, Policy H4 Housing and an ageing population of the Sandbach NP sets out that, 'Any proposals to enhance and improve the quality or quantity of housing for older people or which include dementia friendly provisions within the settlement boundary will be supported'.

The Care Home proposes to cater for a mix of care options including, residential care, dementia and nursing patients. The applicant states that there is a likely need of 10% of the population of Sandbach around 440 people will require some form of care provision, and that this is an undersupply currently within the area.

Whilst the site includes the loss of a public house, and policy REC 5 of the SADPD sets out that development proposals should seek to retain, enhance and maintain community facilities that make a positive contribution to the social or cultural life of a community. The Public House was not listed on the Assets of Community Value list when it closed in 2019 however the Bowling Green is listed and is to be retained as part of the development in accordance with Policies CW1 of the Sandbach NP, SC2 of the LPS and REC 1 of the SADPD.

Therefore, whilst there is a loss of a community asset in terms of a public house the site is located in a residential area, not far from the Sandbach Town Centre where many other public houses etc are available. The retention of the Bowling Green as a community asset is a benefit of the scheme and will help to integrate the new care facility into the community, and it is therefore considered that the principle of development is acceptable, and the benefits of provided a care home of mixed need and retaining the Bowling Green on the site, outweigh the harm caused by losing a community facility in terms of the public house in this instance. The proposal is therefore considered to be acceptable in principle subject to compliance with all other relevant policies of the Development Plan.

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that decisions on planning applications are made in accordance with the Development Plan unless material considerations indicate otherwise, these matters are discussed further below.

The development would provide a below standard level of parking for a facility of this size, however the short fall is small and secure cycle storage is provided within the scheme. The site is locationally sustainable just outside Sandbach Town centre. The Highways Officer has raised no objections to the scheme in terms of Highway Safety and therefore it is considered to be acceptable in this instance.

The site has raised no significant issues in relation to design, landscaping, forestry, amenity, public open space, impact on protected species, flood risk or drainage, subject to appropriate conditions.

It is therefore considered that the development is on balance acceptable and recommended for approval accordingly.

RECOMMENDATION:

Approve subject to Conditions

- 1. Standard Time**
- 1. Approved plans**
- 2. External Materials**
- 3. Surfacing materials**
- 4. Full revised Landscape Scheme (hard and soft landscaping details) – prior to commencement**
- 5. Landscape Implementation**
- 6. Levels Plan (Trees / Landscape / Floodrisk)**
- 7. Boundary Treatment**
- 8. Updated Tree Protection scheme and AMS – prior to commencement**
- 9. Biodiversity enhancement features**

10. Safeguard Nesting Birds
11. Lighting strategy – prior to occupation
12. Details of secure and covered cycle parking – prior to occupation
13. Drainage Scheme – prior to commencement
14. Detailed strategy/design limiting the surface water runoff generated by the proposal, and associated management /maintenance plan - required prior to commencement
15. Foul and surface water to be drained separately
16. Contaminated Land – Phase II report and remediation scheme
17. Contaminated Land – verification report to be submitted
18. Contaminate land – Soil Importation
19. Contaminate land - Unexpected Contamination
20. Prior to occupation – EVI
21. Prior to occupation – Low emission boilers
22. Removal of PD
23. Construction Management Plan
24. Full details of balcony – including some obscurity to the southern side
25. POS management and maintenance plan
26. 10% of energy needs to be from renewable or low carbon energy

In order to give proper effect to the Southern Committee's intent and without changing the substance of its decision, authority is delegated to the Head of Planning (Regulation) in consultation with the Chair (or in their absence the Vice Chair) to correct any technical slip or omission in the resolution, before issue of the decision notice.



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21/4635C
THE LIMES,
3, SWEETTOOTH LANE,
SANDBACH, CW11 1DB

Design Criteria

Site to comply with the following design criteria subject to confirmation of the form of construction and assessment by an external accredited assessor.

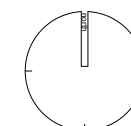
- ☐ Design and Quality Standards: (NA)
- ☐ Code for Sustainable Homes Level: (NA)
- ☐ BREEAM Rating: (NA)
- ☐ Lifetime Homes: (No)
- ☐ Building For Life Minimum Score: (NA)
- ☐ Secured by Design: (NA)

Revisions:

Rev .	Date	By/Chk
Note		



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Drawing Status	
<input type="checkbox"/> preliminary	<input checked="" type="checkbox"/> planning
<input type="checkbox"/> information	<input type="checkbox"/> tender
<input type="checkbox"/> comment	<input type="checkbox"/> construction
<input type="checkbox"/> approval	<input type="checkbox"/> record/as built
Scale	1:1250 @ a4
Date	March.2019
Drawn/Checked	JP/IAM
Dwg.No	3033.11.100

1:1250 SCALE BAR

0 10 20 40 60 Metres

Site Location Plan

The Limes, Sanbach
Crown Care Group

The general contractor is responsible for the verification all dimensions on site and the architect is to be informed of any discrepancy.

The status of information contained in a computer copy of this drawing shall be limited to that conveyed by the paper copy.

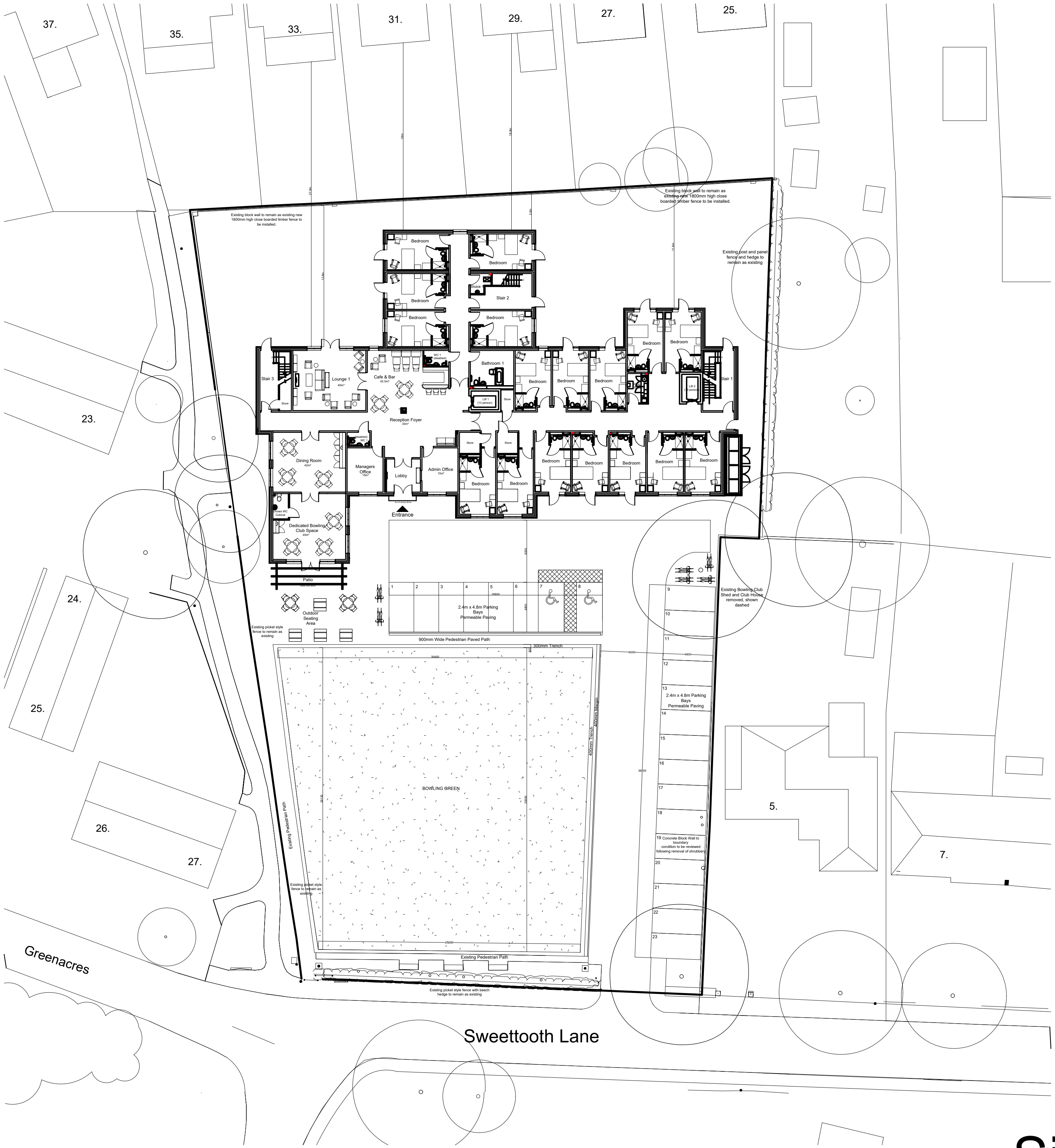
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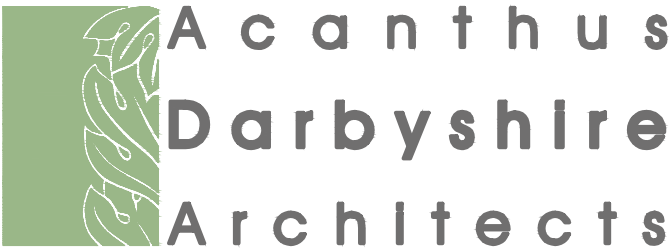
Rev	Date	By/Chk
A	01.04.21	KP
Minor Revisions to GF Plan. 400mm boarder added to Bowling green (north and east side), storage shed enlarged.		
B	12.04.21	KP
Path increased between parking and bowling green, green reduced to accommodate 1200mm path.		
C	26.04.21	KP
Grass margin added between parking and path, dimensions added.		
D	18.05.21	KP
Floor Plan updated		
E	28.05.21	KP
Floor Plan Update		
F	19.11.21	KP
Swept Path added, Cycle Loops added.		
G	28.03.22	KP
Scheme Reduction		
H	28.11.22	KP
Scheme Reduction		



Site Plan as Proposed

The Limes, Sandbach

Crown Care



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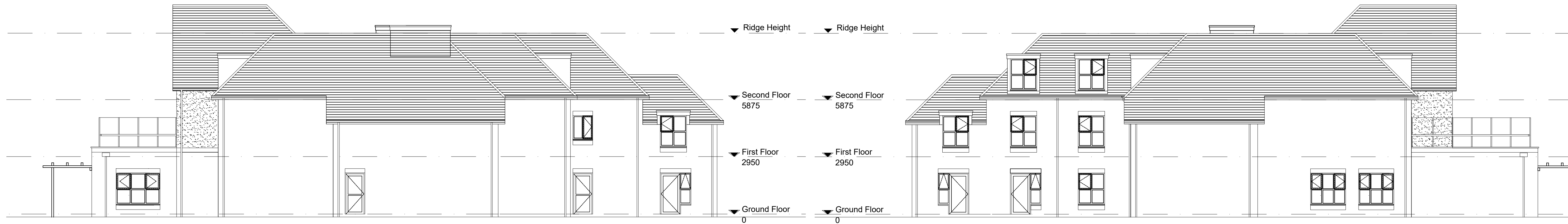
Site Plan as Proposed

The Limes, Sandbach

Crown Care



11.2051 South Elevation



11.5022 East Elevation

11.2054 West Elevation

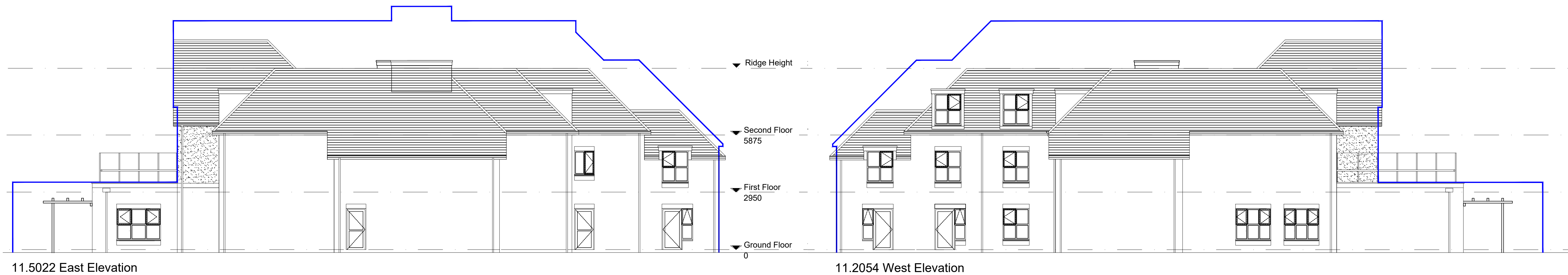


11.2053 North Elevation

- ☐ Design and Quality Standards: (NA)
- ☐ Code for Sustainable Homes Level: (NA)
- ☐ BREEAM Rating: (NA)
- ☐ Lifetime Homes: (No)
- ☐ Building For Life Minimum Score: (NA)
- ☐ Secured by Design: (NA)



11.2051 South Elevation



11.5022 East Elevation

11.2054 West Elevation



11.2053 North Elevation

Comparison Elevations

Proposed Care Home,
The Limes, Sandbach
Crown Care Group

Drawing Status			
<input checked="" type="checkbox"/> preliminary	<input type="checkbox"/> planning		
<input type="checkbox"/> information	<input type="checkbox"/> tender		
<input type="checkbox"/> comment	<input type="checkbox"/> construction		
<input type="checkbox"/> approval	<input type="checkbox"/> record/as built		
Scale	1:100 @ a1		
Date	May 2021		
Drawn/Checked	si/kp		
Dwg No	3033.11.2055-2059A		

- Site to comply with the following design criteria subject to confirmation of the form of construction and assessment by an external accredited assessor.
- ☐ Design and Quality Standards: (NA)
 - ☐ Code for Sustainable Homes Level: (NA)
 - ☐ BREEM Rating: (NA)
 - ☐ Lifetime Homes: (No)
 - ☐ Building For Life Minimum Score: (NA)
 - ☐ Secured by Design: (NA)

Rev.	Date	By/Chk
A	23.03.22	KP
B	28.11.22	KP
Scheme Reduction		

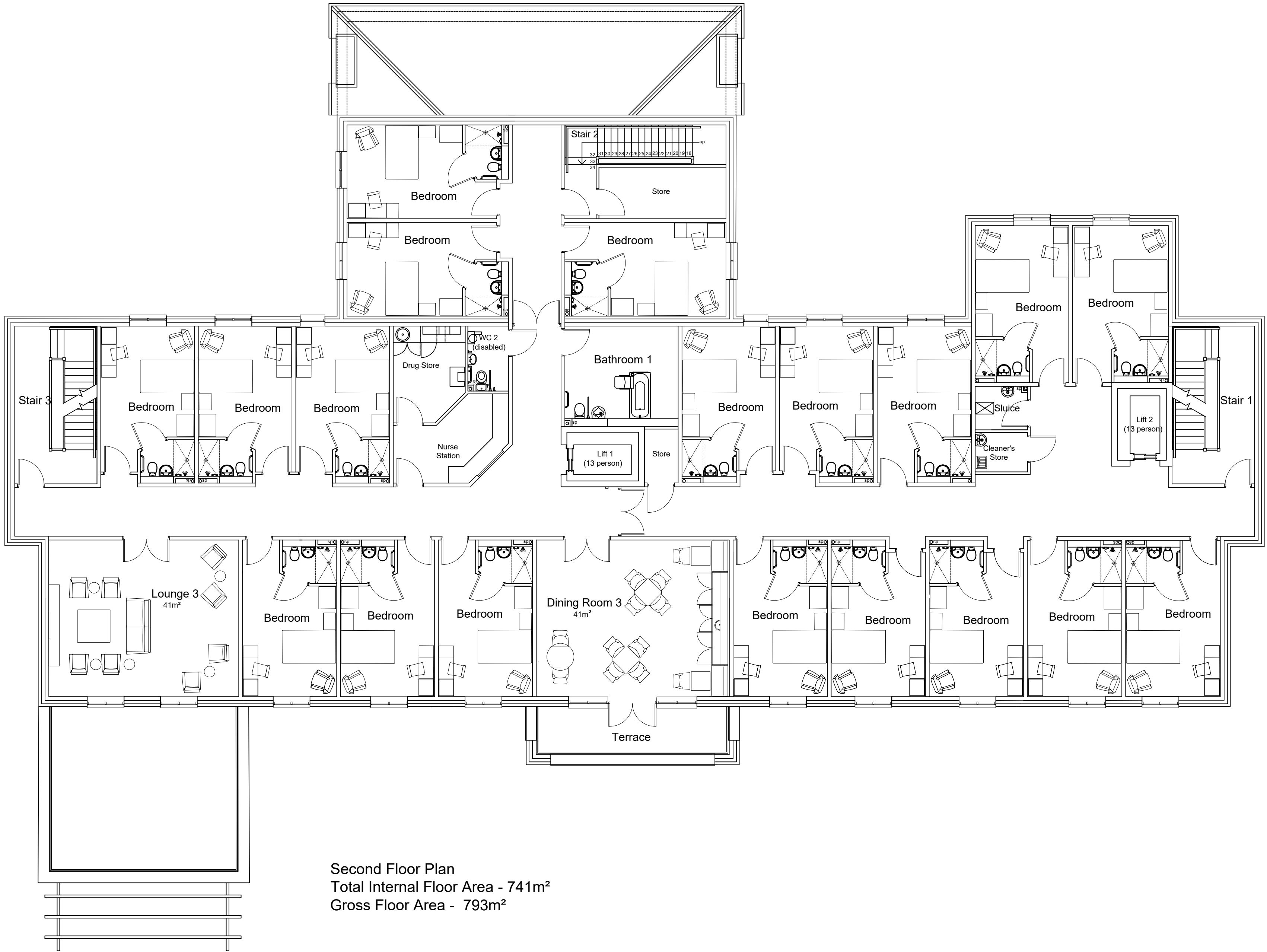
Accommodation Schedule

Lounge 3 - 41m²
Dining 3 - 41m²
Total Lounge / Dining area - 82m²

19 Single Bedrooms with Ensuities

Nurse Station
2 Lifts (2 x 13 person)
1 Bathroom
1 Disabled WC
1 Drug Store
1 Sluice
Cleaner's Store
Stores

- Key
- Line of 1 hr fire barrier
 - Beam over to Engineer's details
 - rwp Rain water pipe
 - big Back inlet gully
 - sp Soil pipe
 - ss Stub stack
 - Fire rated FD60S
 - Fire Alarm Panel



Second Floor Plan
Total Internal Floor Area - 741m²
Gross Floor Area - 793m²

Proposed SF Plan
Proposed Care Home,
The Limes, Sandbach
Crown Care Group

- ☐ Design and Quality Standards: (NA)
- ☐ Code for Sustainable Homes Level: (NA)
- ☐ BREEM Rating: (NA)
- ☐ Lifetime Homes: (No)
- ☐ Building For Life Minimum Score: (NA)
- ☐ Secured by Design: (NA)

Rev.	Date	By/Chk
A	23.03.22	KP
B	28.11.22	KP
Scheme Reduction		

Accommodation Schedule

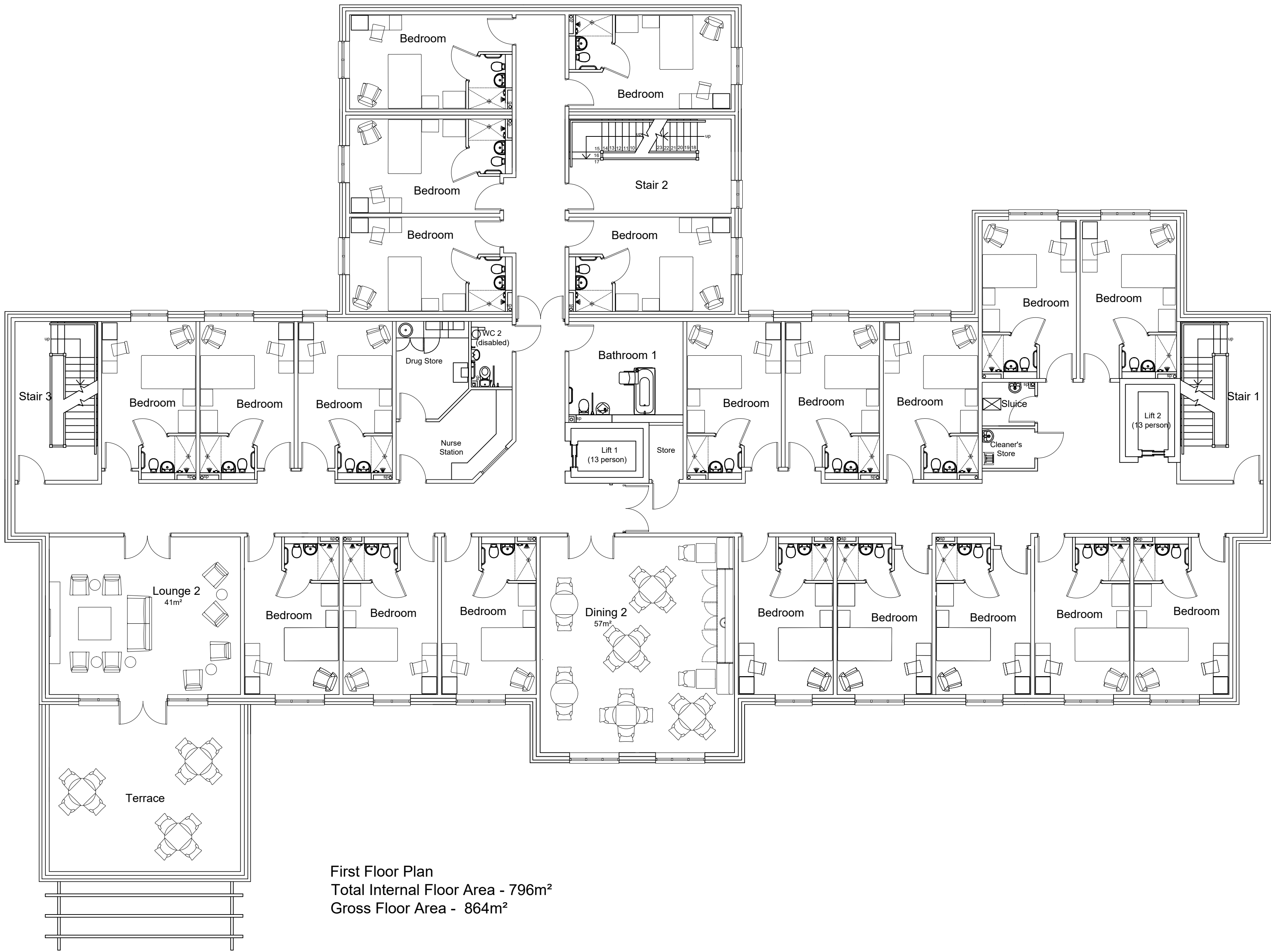
Lounge 2 - 41m²
Dining 2 - 57m²
Total Lounge / Dining area - 98m²

21 Single Bedrooms with Ensuities

Nurse Station
2 Lifts (2 x 13 person)
1 Bathroom
1 Disabled WC
1 Drug Store
1 Sluice
Cleaner's Store
Stores

Key

- Line of 1 hr fire barrier
- Beam over to Engineer's details
- rwp Rain water pipe
- big Back inlet gully
- sp Soil pipe
- ss Stub stack
- Fire rated FD60S
- Fire Alarm Panel



First Floor Plan
Total Internal Floor Area - 796m²
Gross Floor Area - 864m²

Proposed FF Plan
Proposed Care Home,
The Limes, Sandbach
Crown Care Group

- ☐ Design and Quality Standards: (NA)
- ☐ Code for Sustainable Homes Level: (NA)
- ☐ BREEM Rating: (NA)
- ☐ Lifetime Homes: (No)
- ☐ Building For Life Minimum Score: (NA)
- ☐ Secured by Design: (NA)

Rev.	Date	By/Chk
A	28.05.21	KP
B	23.03.22	KP
C	28.11.22	KP
Scheme Reduction		

Accommodation Schedule

Lounge 1- 40m²
Dining 1 - 42m²
Total Lounge / Dining area - 82m²

Cafe & Bar - 42.5m²
Reception Foyer - 33m²

Dedicated Bowling Club Room - 45m²
WC
Equipment Store

17 Single Bedrooms with Ensuities

Manager's Office
Admin Office
2 Lifts (2 x 13 person)
1 Bathroom
1 Disabled WC
1 Drug Store
1 Sluice
Cleaner's Store
Stores

Key

- Line of 1 hr fire barrier
- Beam over to Engineer's details
- rwp Rain water pipe
- big Back inlet gully
- sp Soil pipe
- ss Stub stack
- Fire rated FD60S
- Fire Alarm Panel



Ground Floor Plan
Total Internal Floor Area - 824m²
Gross Floor Area - 885m²

Proposed GF Plan
Proposed Care Home,
The Limes, Sandbach
Crown Care Group

- ☐ Design and Quality Standards: (NA)
- ☐ Code for Sustainable Homes Level: (NA)
- ☐ BREEAM Rating: (NA)
- ☐ Lifetime Homes: (No)
- ☐ Building For Life Minimum Score: (NA)
- ☐ Secured by Design: (NA)

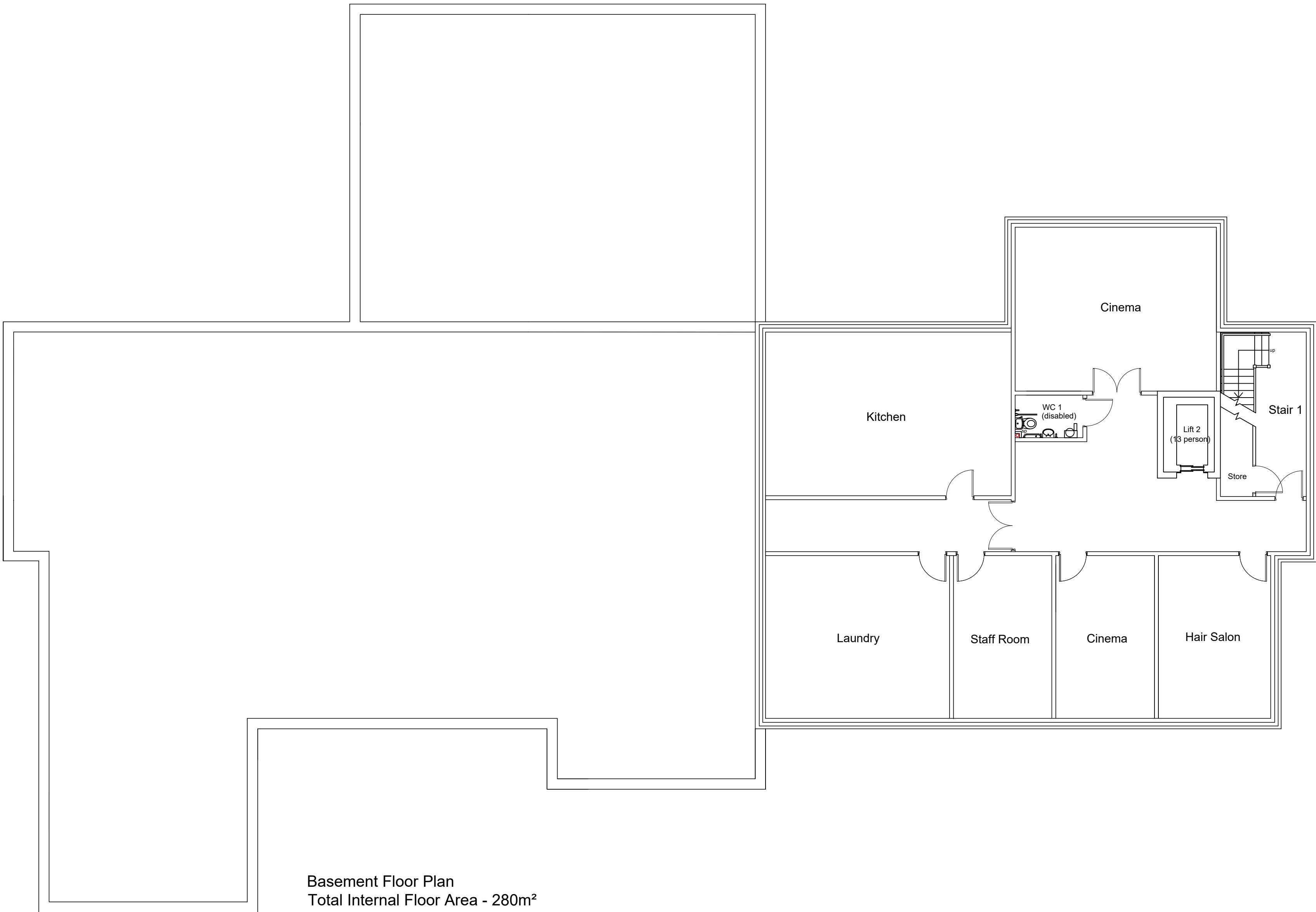
Rev : Date By/Chk

Accommodation Schedule

Laundry
Kitchen
Staff Room
Cinema
Hair Salon
Wc's
Stores

Key

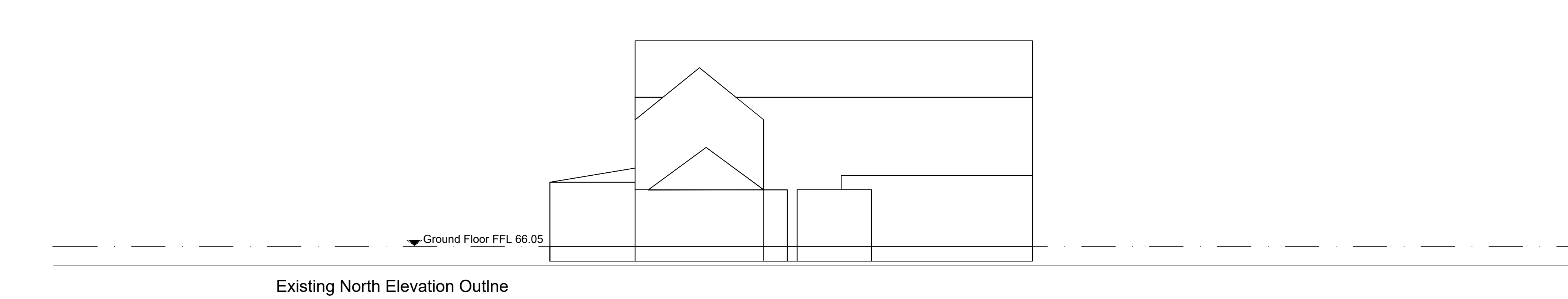
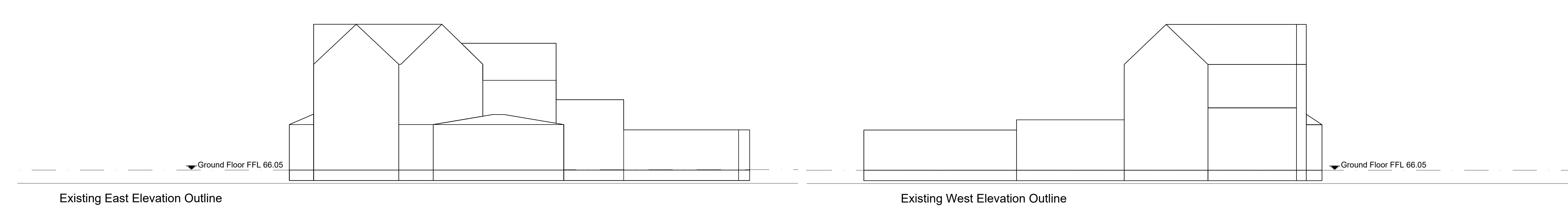
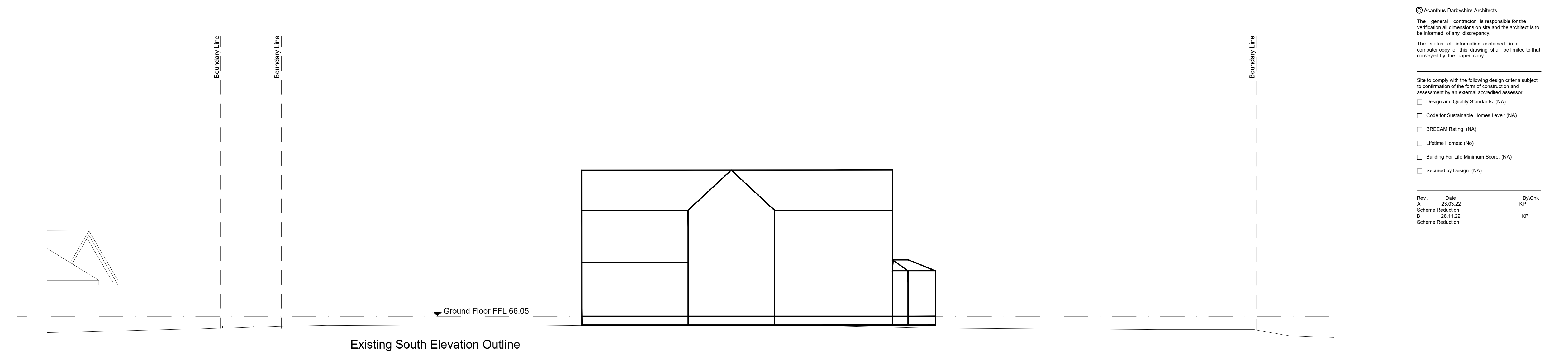
- Line of 1 hr fire barrier
- Beam over to Engineer's details
- rwp Rain water pipe
- big Back inlet gully
- sp Soil pipe
- ss Stub stack
- Fire rated FD60S
- Fire Alarm Panel



Basement Floor Plan
Total Internal Floor Area - 280m²
Gross Floor Area - 308m²

Proposed Basement Plan
Proposed Care Home,
The Limes, Sandbach
Crown Care Group

Drawing Status			
<input checked="" type="checkbox"/> preliminary	<input type="checkbox"/> planning	<input type="checkbox"/> information	<input type="checkbox"/> tender
<input type="checkbox"/> comment	<input type="checkbox"/> construction	<input type="checkbox"/> approval	<input type="checkbox"/> record/as built
Scale		1:100 @ a1	
Date		Nov 2021	
Drawn/Checked		kp	
Dwg No		3033.11.2000	



Existing Elevations

The Limes, Sandbach

Crown Care Group

Hawthorn Cottage, 8 Hawthorn Road, Gosforth, NE3 4DE. TEL: 0191 284 2813. FAX 0191 213 2037 architects@acanthusda.com

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The general contractor is responsible for the verification all dimensions on site and the architect is to be informed of any discrepancy.

The status of information contained in a computer copy of this drawing shall be limited to that conveyed by the paper copy.

Site to comply with the following design criteria subject to confirmation of the form of construction and assessment by an external accredited assessor.

☐ Design and Quality Standards: (NA)

☐ Code for Sustainable Homes Level: (NA)

☐ BREEAM Rating: (NA)

☐ Lifetime Homes: (No)

☐ Building For Life Minimum Score: (NA)

☐ Secured by Design: (NA)

Rev.	Date	By/Chk
A	23.03.22	KP
Scheme Reduction		
B	28.11.22	KP
Scheme Reduction		

Drawing Status			
<input checked="" type="checkbox"/>	preliminary	<input type="checkbox"/>	planning
<input type="checkbox"/>	information	<input type="checkbox"/>	tender
<input type="checkbox"/>	comment	<input type="checkbox"/>	construction
<input type="checkbox"/>	approval	<input type="checkbox"/>	record/as built
Scale		1:100 @ a1	
Date		Feb 2023	
Drawn/Checked		kp	
Dwg No		3033.11.2060	

Acanthus
Darbyshire
Architects

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Application No: 22/1412N

Location: Land Off, SYDNEY ROAD, CREWE

Proposal: Full application for the erection of affordable housing together with access, landscaping and public open space including a tree lined walkway and other associated works.

Applicant: Anwyl Partnerships Ltd

Expiry Date: 01-Sep-2023

SUMMARY

The site is within the Open Countryside where, under policy PG6 of the Adopted Local Plan Strategy, there is a presumption against new residential development. The proposed development although affordable has not been put forward as a Rural Exception Site and therefore would not fall within any of the categories of exception to the restrictive policy relating to development within the open countryside. The issue in question is whether there are other material considerations associated with this proposal, which are sufficient material considerations in this case to outweigh the policy objection.

The site is an essentially land-locked site and no longer forms part of the functional open countryside as it is contained by existing residential development, the railway line and Sydney Road Bridge, and also future development which has been approved beyond the railway line to the east.

The development would provide significant social benefits in terms of affordable housing through the provision of a 100% affordable housing scheme. It would also provide economic benefits through the provision of employment during the construction phase, new homes and benefits for local businesses.

The development of is of an acceptable layout and design which accords with the principles of the Cheshire East Design Guide. It would not have a harmful impact on the local highway network or highway safety and would not adversely affect the amenities of nearby properties or highway safety. In addition, there are no objections to the development in relation to air quality, noise, ground conditions, ecology, trees, landscape or drainage /flood risk.

Therefore, it is considered that although the application is a departure to the Development Plan, other material considerations as set out above, are acceptable and outweigh the identified policy conflict and therefore the proposal is recommended for approval subject to a legal agreement and conditions set out below.

SUMMARY RECOMMENDATION

Approval subject to completion of S106 Agreement and conditions

PROPOSAL

The application seeks full planning permission for a scheme of 45 affordable dwellings.

The proposed development will comprise of 3 bungalows, 16 one-bed apartments, 14 two-bed dwellings, and 12 three-bedroom dwellings. All dwellings will be transferred to a Registered Provider for future management.

Access into the site will be gained from Sydney Road to the west, using a currently undeveloped strip of land between existing dwellings (No 72 and 74) which front onto the Sydney Road.

Revised plans and additional information have been received during the application process in response to issues raised by the Council. This has been predominantly in relation to ecology, drainage, public open space/playscape and for compliance with national space and accessibility standards.

This application seeks to address the reasons for the refusal of a previous application (18//5510N) for an affordable housing scheme on this site. In particular, the proposals include an increase in the number of smaller units and bungalows across the site suitable for older people and young families. The revised design approach also provides an area of public open space including a play area running centrally through the site and which is visible from the site entrance.

SITE DESCRIPTION

The site (1.03Ha) is located on the north-eastern edge of Crewe and lies within Open Countryside as identified by the Development Plan. It is a triangular parcel of land comprising a single field on the northern side of Sydney Road. The site was formerly pasture land, but is no longer in agricultural use nor is it accessible to the public.

The rear garden boundaries of dwellings fronting Sydney Road (Nos.56-84 even) form the western edge of the site. The residential curtilage of a detached property (No.54 Sydney Road) adjoins the northern boundary of the site.

The Manchester to Crewe railway line runs north/south alongside the eastern site boundary. An electricity pylon is also located within open land adjacent to the eastern boundary of the Site, but no powerlines pass directly over the site.

An existing access point serving the site is located between Nos.72 and 74 Sydney Road.

RELEVANT HISTORY

18/5510N - Development of 40 affordable dwellings, the creation of a new vehicle and pedestrian access from Sydney Road, internal shared surface roads, car parking, landscaping and public open space. Refused on 04-Oct-2019 for the following reasons:

- 1. It is considered that the harm to the Open Countryside is not outweighed by the benefits of the proposed development, given its poor layout and design resulting in the lack of*

satisfactory opportunities for children's play. The development is therefore deemed to be contrary to Policies PG6 (Open Countryside), SE1 (Design), SC3 (Health and Wellbeing), SD1 (Sustainable Development in Cheshire East), and SD2 (Sustainable Development Principles) of the Cheshire East Local Plan Strategy, and saved Policy RT3 of the Borough of Crewe and Nantwich Replacement Local Plan 2011.

17/0560N - Full planning permission for the proposed development of 40 affordable dwellings, comprising of 17 two-bed and 23 three-bed dwellings, the creation of a new vehicle and pedestrian access from Sydney Road, internal shared surface roads, car parking, landscaping and public open space. Refused 1st December 2017

7/16274 - Residential Development - Refused 19th January 1989

7/07282 - 4 detached dwellings - Refused 30th October 1980

POLICY

Cheshire East Local Plan Strategy (CELPS)

PG2 – Settlement Hierarchy
PG6 - Open Countryside
PG7 – Spatial Distribution of Development
SC4 – Residential Mix
SC5 – Affordable Homes
SC6 - Rural Exceptions Housing for Local Needs
SD1 - Sustainable Development in Cheshire East
SD2 - Sustainable Development Principles
SE3 – Biodiversity and Geodiversity
SE5 – Trees, Hedgerows and Woodland
SE 1 - Design
SE 2 - Efficient Use of Land
SE 3 - Biodiversity and geodiversity
SE 4 - The Landscape
SE 5 - Trees, Hedgerows and Woodland
SE 6 – Green Infrastructure
SE9 - Energy Efficient Development
SE12 - Pollution, Land contamination and land instability
SE13 - Flood risk and water management
CO1 - Sustainable Travel and Transport
CO4 - Travel plans and transport assessments
IN1 - Infrastructure
IN2 - Developer Contributions

Site Allocations and Development Policies Document (SADPD)

PG9 Settlement Boundaries
GEN 1 Design principles
ENV 1 Ecological network
ENV 2 Ecological implementation

ENV 3 Landscape character
ENV 5 Landscaping
ENV 6 Trees, hedgerows, and woodland implementation
ENV 7 Climate Change
ENV 12 Air quality
ENV 15 New development and existing uses
ENV 16 Surface water management and flood risk
HOU 1 Housing mix
HOU 8 Space, accessibility and wheelchair housing standards
HOU12 Amenity
HOU 13 Residential standards
HOU 12 Housing Density
HOU 14 Housing Delivery
INF 1 Cycleways, bridleways and footpaths
INF 3 Highways safety and access
INF 9 Utilities
REC 3 Green space implementation

Other Material Considerations

National Planning Policy Framework (2021)
National Planning Practice Guidance
Cheshire East Design Guide

CONSULTATIONS

Housing - No objection. The application is for 100% affordable rented accommodation which will cater for the present need in Crewe.

Environmental Health - No objection subject to conditions regarding the implementation of the Noise Mitigation Scheme, charging for electric vehicles, travel information pack, installation of ultra-low emission boilers and remediation of contamination. Informatives relating to hours of construction and dust management are recommended.

Highways Officer - No objection subject to a condition requiring a Construction Management Plan.

Education - No objection subject to an education contribution of £54,231.

NHS - No objection subject to contribution of £38,578 towards improvement of local medical centres.

Greenspaces / Leisure Officer - No objection subject to conditions.

United Utilities - No objection subject to a condition requiring drainage to be being carried out in accordance with the principles set out in the submitted Surface Water Drainage Design.

Flood Risk - No objection subject to a condition requiring the approval of the detailed design and associated management and maintenance plan of surface water drainage for the site

Network Rail - No objection subject to conditions and standard informatives regarding construction work and development adjacent to the railway.

HS2 Ltd - No objection. The site does not fall within land safeguarded for Phase 2b of HS2. However, for the purposes of awareness a standard informative is recommended advising that the application site is located in close proximity to land that may be required to construct and/or operate Phase 2b.

Cheshire Brine Subsidence Compensation Board - No objection subject to an informative being attached in relation to the foundation design of the proposed development.

Cadent – No objection subject to informatives safeguarding gas apparatus within site. (comments to 18/5510N)

VIEWS OF THE TOWN COUNCIL

Crewe Town Council Object;

- Inadequate and substandard living accommodation contrary to Nationally Described Space Standards (NDSS).
- Development should provide appropriate on site required children's play area as no local provision in safe or reasonable distance.
- No details of waste storage
- Lack of cycle storage for residential units
- Lack of sustainable energy production and residential units should include roof-mounted photo solar voltaic panels
- Lack of electric vehicle charging points
- Treatment of boundaries should detail for wildlife permeability
- All boundary hedging should be retained
- Requirement for biodiversity gain.
- Lack of on- site wildlife habitat, bird and bat boxes
- Treatment of the Eastern boundary should include for acoustic/sound proofing to reduce potential railway noise affecting residents of the development.

OTHER REPRESENTATIONS

Representations have been received from the residents of 14 neighbouring properties raising the following points:

- Reasons for the refusal of the previous applications have not been addressed
- Amended plans have not addressed previous concerns with no reduction in the number of properties or improvements to the access
- Overdevelopment of the site. Number of properties should be reduced.
- Inappropriate site and no need for development
- Cumulative effects of development in the immediate area

- Increased pressure on community facilities and infrastructure including GP practices schools, dentists and hospitals
- CEC Children's Services have incorrectly calculated education contribution on the basis of a development of 26 dwellings. This financial contribution should be increased to reflect the proposed development of 45 dwellings
- Intrusion into the open Countryside with loss of green space and existing views
- Precedent for further development on open land to north-east
- Development out of character.
- Units do not meet technical Housing Standards
- Children's play area not provided on site and poor provision of public open space within the development. A S106 contribution could be sought to improve a nearby park
- Highway safety risks for children crossing Sydney Road to access play facilities on Lime Tree Avenue
- Proposed access serving the site is very narrow and of inadequate width.
- Adverse impact on highway safety due to inadequate highway visibility along Sydney Road and proximity to Sydney Road Bridge
- Increase traffic congestion on Sydney Road. This is a busy road especially at peak periods and will also be used by HS2 construction traffic
- Increased traffic flows and speed across reopened Sydney Road Bridge will exacerbate problems of joining the flow of traffic on to this busy stretch of road and a dangerous place for pedestrians to cross
- Additional traffic will hinder emergency vehicles using Sydney Road as a main access route to Leighton Hospital
- Highway safety issues from pavements not provided in front of all dwellings
- Inadequate car parking provision
- Public transport provision in locality is poor with no direct bus services
- Provision of an additional Bus Stop/Shelter/Raised Kerb required opposite the new estate entrance
- Loss of open aspect and green space to rear
- Reduction in quality of life
- Overlooking and loss of privacy
- Provision of appropriate boundary treatment required
- Loss of light and overshadowing from positioning of unattractive gable end adjacent to northern site boundary with No.54 Sydney Road
- View of pumping Station sited within north east corner of the site from 54 Sydney Road
- Unfavourable ground conditions due to brine subsidence;
- Land subject to contamination
- Increased heavy railway traffic has caused vibration and subsidence
- Will exacerbate drainage and flooding problems
- Surface water drainage will be directed into the brook that runs alongside properties on the Meadow View Estate which is already at capacity
- Developer does not have permission to cross third party land to discharge surface water into Brook
- Pumping Station Easement extends into garden area of No.54 Sydney Road
- View from No.54 of Pumping Station sited within north east corner of the site
- Increased noise from traffic using site access and impact from headlights of vehicles facing towards windows of adjacent properties

- Noise and disturbance resulting from use of car parking spaces located adjacent to northern boundary with No.54 Sydney Road
- Adverse impact on air quality in locality from increased vehicle emissions
- Adverse impact of construction work
- Inconvenience and disruption from previous and existing building work on the locality
- The removal of trees during the Sydney Road Bridge works has taken away a large section of the acoustic barrier. New barrier planting will take many years to establish.
- Damage to existing oak trees adjacent to the site boundary with No.54 from excavation of foundations for the pumping station
- Access needed to maintain boundary hedges and trees
- Retention of trees that form a line along the Northern boundary of the development with No.54 Sydney Road. Potential for root damage due to future construction of structures/outbuildings within rear gardens with resulting risk of damage to new houses from falling tree given their height and proximity.
- Loss of wildlife habitat and adverse impact on nesting birds
- Health, noise and safety issues due to proximity of site to railway line and electricity pylon
- Potential odours emanating from Maw Green landfill site
- No secure cycle storage has been provided for each dwelling
- No details of refuse storage provided
- Green energy equipment has not been provided such as car charging points or solar panels on roofs or air source heat pumps
- Inadequate neighbour consultation
- Site would be better used as a Community Park
- Reduction of property values

APPRAISAL

Principle of development

The site lies within the Open Countryside. Policy PG6 of the Adopted Local Plan Strategy states that within the Open Countryside only development that is essential for the purposes of agriculture, forestry, outdoor recreation, public infrastructure, essential works undertaken by public service authorities or statutory undertakers, or for other uses appropriate to a rural area will be permitted. Residential development is restricted to agricultural workers dwellings, affordable housing and limited infilling within built up frontages.

The proposed development although affordable, has not been put forward as a Rural Exception Site and therefore would not fall within any of the categories of exception to the restrictive policy relating to development within the open countryside. As a result, it constitutes a “departure” from the development plan and there is a presumption against the proposal, under the provisions of sec.38(6) of the Planning and Compulsory Purchase Act 2004 which states that planning applications and appeals must be determined “in accordance with the plan unless material considerations indicate otherwise”.

Policy SC6 (Rural Exceptions Housing for Local Needs) of the CELPS only applies to developments which adjoin a Local Service Centre or Other Settlement and are for small

schemes (10 dwellings or fewer). As a result the proposed development does not comply with this Policy.

Importantly the delivery of the site for residential development will also contribute towards the Council's housing land supply, provide 100% affordable housing, and thereby assist in meeting the development requirements of Crewe and the wider Borough.

The issue in question is whether there are other material considerations associated with this proposal, including the significant benefits from the provision of affordable housing, which are a sufficient to outweigh the policy objection.

Impact on the Open Countryside

Whilst the site lies within the open countryside as designated by policy PG 6 of the Cheshire East Local Plan, it is effectively contained by existing residential development and the west coast main line with very limited views into the site from public vantage points. In addition, land beyond the railway to the east is allocated for residential development and as a result this small parcel of land will become entirely isolated from the surrounding countryside. Therefore, although the site itself would remain open, its surroundings would not.

Given the site will no longer forms part of the functional open countryside due to the residential development around the site, and the railway line to the east of the site, it is considered that the development would not cause significant harm to the open countryside.

In principle, the development of this site would not have not had unacceptable impact on the character or appearance of the locality, nor on the wider rural landscape

Housing

Affordable housing

Affordable Housing Policy SC 5 (Affordable Homes) in the Cheshire East Local Plan Strategy (CELPs) sets out the thresholds for affordable housing in the borough. In residential developments, affordable housing will be provided as follows: -

- i. In developments of 15 or more dwellings (or 0.4 hectares) in the Principal Towns and Key Service Centres at least 30% of all units are to be affordable;
- ii. In developments of 11 or more dwellings (or have a maximum combined gross floorspace of more than 1,000 sqm) in Local Service Centres and all other locations at least 30% of all units are to be affordable;
- iii. In future, where Cheshire East Council evidence, such as housing needs studies or housing market assessments, indicate a change in the borough's housing need the above thresholds and percentage requirements may be varied

The CELPS states in the justification text of Policy SC5 (paragraph 12.44) that the Housing Development Study shows that there is the objectively assessed need for affordable housing

for a minimum of 7,100 dwellings over the plan period, which equates to an average of 355 dwellings per year across the borough. This figure should be taken as a minimum.

The proposed scheme of 45 affordable dwellings will clearly assist in addressing the Council's commitment to providing sustainable affordable housing in Cheshire East and is therefore supported.

Therefore this 100% affordable rented housing scheme makes a significant contribution to the community in its own right and therefore ensures the proposal is socially very sustainable.

Cheshire Homechoice

The current Cheshire Homechoice waiting list where those registered their first choice to be Crewe, shows a total of 2705. This can be broken down as below;

First Choice	How many bedrooms do you require?						Grand Total
	1	2	3	4	5	5+	
Crewe	1303	721	438	139	104		2705

The Councils Housing officer advises that there is a strong need for 1-, 2-, and 3 bedroom dwellings as well as a need for affordable rented accommodation in the area of Crewe. The Housing Officer considers that the proposed mix of 1-, 2-, and 3-bedroom dwellings would be acceptable for this site. In particular, the inclusion of 1-bedroom bungalows is welcomed.

The Housing Officer adds that Cheshire Homechoice have been consulted and raise no concerns as regards the application and proposed tenure of 100% affordable rent.

Housing Mix

CELPs Policy SC4 'Residential Mix' advises that new residential development should maintain, provide or contribute to a mix of housing tenures, types and sizes to help support the creation of mixed, balanced and inclusive communities.

The Site Allocations and Development Policies Document Policy HOU1 'Housing Mix' advises that housing developments should deliver a range and mix of house types, sizes and tenures, which are spread throughout the site and that reflect and respond to identified housing needs and demands. SADPD Policy HOU 1 'Housing Mix' includes in the supporting text, table 8.1 which is considered a 'starting point' for the consideration of housing mix on major schemes at full/reserved matters stage. The policy then goes on to include several relevant factors that the applicant should consider in determining an appropriate housing mix and type on the site.

The mix proposed would not be provided as per table 8.1 of the supporting text of policy HOU 1. However, the policy text makes it clear that this is to be used as a starting point for analysis

and negotiation. The aim of this policy is to provide a mix of housing tenure and bedroom units to suit the needs of all and not to be dominated by larger 4 plus bedroom properties. In this case, the mix appears to be consistent with that aim in providing 1-3 bed affordable properties.

The proposals will deliver 100% affordable housing. The scheme includes a variety of house types and sizes, which will cater to first time buyers, single occupancy, couples, families, and older persons. The provision of housing suitable for older persons is a notable aspect of the revised proposals for the site.

	14 No.	2B House	31%
	12 No.	3B Semi Deatched House	27%
	16 No.	1B Walk Up	36%
	3 No.	1B Bungalow	7%

The provision of 1-bedroom bungalows and 16no. walk-up apartments (of which 8no. will be on ground-floor) have been incorporated into the proposals to meet housing needs for older persons supported by the Council's Housing Officer. In addition the provision of 1-bed dwellings including bungalows with single level access will help ensure the development caters for the longer term needs of older residents who are wishing to downsize.

The proposed housing mix therefore provides a variety of accommodation for different household types and accords with policy SC4 of the CELPS and Policy HOU 1 of the SADPD

Point 3 of policy SC5 (affordable homes) notes that "the affordable homes provided must be of a tenure, size and type to help meet identified housing needs and contribute to the creation of mixed, balanced and inclusive communities where people can live independently longer". Paragraph 12.48 of the supporting text of Policy SC5 (affordable homes) confirms that the Council would currently expect a ratio of 65/35 between social rented and intermediate affordable housing. On this basis, 30 units should be provided as affordable/social rent and 15 units as intermediate tenure.

However, the applicant has suggested that the scheme would entirely comprise of affordable rented units. As stated above the Housing Officer has raised no objection to the provision of 100% affordable rented dwellings on this site, which in this case would represent an acceptable variance to Council's normally preferred tenure split of 65% rented and 35% Intermediate.

Nationally Described Space Standards (NDSS)

In terms of dwelling sizes, Policy HOU8 of the SADPD requires that new housing developments comply with the Nationally Described Space Standards (NDSS).

During the course of the application, house types have been adjusted to ensure that all of the proposed dwellings are NDSS compliant in accordance with Policy HOU8. This has included the provision of bedrooms within roof spaces served by dormer windows and rooflights for the 3-bed semi-detached house types. The applicant has provided the following tables to show the current position in terms of the house types and NDSS compliance:

AREAS SCHEUDLE:

House Type	Actual Size		NDSS	
	GIFA (m ²)	Built-in Storage (m ²)	GIFA (m ²)	Built-in Storage (m ²)
1B1P Walk-Up GF	43	1.0	39	1.0
1B2P Walk-Up FF	51	1.5	50	1.5
1B2P Bungalow	53	1.5	50	1.5
2B3P House	70	2.1	70	2.0
3B5P House	99	3.5	99	2.5

BEDROOM AREAS SCHEDULE:

House Type	Actual Size				NDSS			
	Single		Double		Single		Double	
	Area	Width	Area	Width	Area	Width	Area	Width
1B1P Walk-Up GF End Unit								
Bedroom 1	12.4	2.85	-	-	7.5	2.15	11.5	2.75
1B2P Walk-Up GF Mid Unit								
Bedroom 1	9.6	2.85	-	-	7.5	2.15	11.5	2.75
1B2P Walk-Up FF								
Bedroom 1	-	-	13.6	2.85	7.5	2.15	11.5	2.75
1B2P Bungalow								
Bedroom 1	-	-	15.6	3.0	7.5	2.15	11.5	2.75
2B3P House								
Bedroom 1	-	-	10	2.2	7.5	2.15	11.5	2.75
Bedroom 2	12.2	3.2	-	-	7.5	2.15	11.5	2.55
3B5P House								
Bedroom 1	10	2.54			7.5	2.15	11.5	2.75
Bedroom 2			17.2	3.07	7.5	2.15	11.5	2.55
Bedroom 3			11.9	3.50	7.5	2.15	11.5	2.55

Space, accessibility and wheelchair housing standards

Policy HOU 8 of the SADPD states that;

1. In order to meet the needs of the borough's residents and to deliver dwellings that are capable of meeting people's changing circumstances over their lifetime, the following accessibility and wheelchair standards will be applied.

i. For major developments:

- a. at least 30% of dwellings in housing developments should comply with requirement M4 (2) Category 2 of the Building Regulations regarding accessible and adaptable dwellings; and
- b. at least 6% of dwellings in housing developments should comply with requirement M4 (3)(2)(a) Category 3 of the Building Regulations regarding wheelchair adaptable dwellings.

Determining compliance with the accessibility and wheelchair adaptable standards is the role of Building Control. At the planning stage, the Council needs reassurance that the applicant is aware of the standards and committed to meeting them at the Building Control stage.

Amended drawings have been submitted to demonstrate that 14no. of the two-bed houses achieve M4(2) compliance and meet the 30% requirement. Furthermore, the layout of the 3no. proposed bungalows has also been amended to achieve M4(3) compliance, therefore, meeting the 6% requirement of Policy HOU8.

Accessibility and wheelchair standards are applied through the Building Regulations but at this stage the requirements of Policy HOU8 have been met.

Planning conditions are recommended to be attached to ensure the standards of 30% Accessible Dwellings M4(2) and 6% Wheelchair Adaptable Dwellings M4 (3)(2)(a) are achieved within the development.

Locational Sustainability

Both policies SD1 and SD2 of the CELPS refer to supporting development in sustainable locations. Within the justification text of Policy SD2 is a sustainable development location checklist.

The application site is located on the edge of Crewe, which is a main service centre. The site is close to a variety of amenities and services, with public transport available along Sydney Road. The proposed site is close (approximately 0.2km) to bus stops for the No.8 service with regular buses to Crewe Town Centre which lies approximately 1.5 miles to the south west.

In particular, the scheme is located within an established residential area and there are a range of local facilities including a variety of local shops, Monks Coppenhall Primary School, William Stanier Secondary School and sports and recreational facilities at Cumberland Arena all in reasonably close proximity.

The site location therefore performs well against the desired distances to local facilities which developments should aspire to achieve as set out within the toolkit of the checklist. The site is therefore considered to be locationally sustainable.

NHS Health

The NHS Cheshire and Merseyside Integrated Care Board have sought a S106 contribution to provide funding for the Primary Care Network's that cover the area of Crewe. This will support the development of Eagle Bridge Health and Wellbeing Centre, Rope Green Medical Centre, Grosvenor Medical Centre and Hungerford Rias Surgery, and their future ability to meet the needs of residents of the proposed scheme and continue to provide the expected levels of primary care services in Crewe.

Based on this 45-home affordable housing scheme, a contribution of £38,578 is requested. A S106 agreement will secure this contribution.

Education

Following consultation with Children's Services, a financial contribution is required as the proposed development of 26 house (excluding 19 one-bed units) is expected to generate:

5 - Primary children (26 x 0.19)

4 -- Secondary children (26 x 0.15)

The Education Officer considers that the development is expected to impact on primary and secondary school places in the locality. Contributions which have been negotiated on other developments are factored into the forecasts both in terms of the increased pupil numbers and the increased capacity at primary and secondary schools in the area because of agreed financial contributions. The analysis undertaken has identified that a shortfall of primary school places (5) would remain.

To alleviate forecast pressures, the following contributions would be required:

$5 \times £11,919.00 \times 0.91 = £ 54,231$ (Primary)

Total education contribution: £54,231

Without a secured contribution of £54,231 Children's Services would raise an objection to this application. A S106 agreement will secure this contribution.

Open Space Provision

Policy SE6 of the CELPS sets out the open space requirements for housing development which are (per dwelling) and is quantified as follows;

Children's Play Space - 20 sq.m per family dwelling

Amenity Green Space - 20 sq.m per family dwelling

A designated area of public open space (approx. 1000 sq. m) is proposed within the scheme for amenity green space (20sq m per family dwelling) but given the constraints of this small site it is not of sufficient size to satisfactorily accommodate a fully equipped children's play area. However, further to discussions with the Council's Leisure Officer, amended plans have been submitted proposing the provision of a Local Area for Play (LAP) within the POS to include accessible / inclusive equipment. The Leisure Officer considers this provision acceptable and recommends that a condition be imposed requiring full details of the design and specification of the LAP.

The Council's Leisure Officer recognises that although the proposals do not fully meet Policy requirements, an open space at the heart of the development is provided to enable the community to socialise and make their own. The space importantly enjoys natural surveillance from nearby properties and gives a good visual amenity upon entering the site. It is considered that to further enhance the public decorative seating or art/carving could be provided although this would need to be considered carefully with regards to location and proximity to dwellings. As pathways weave throughout the space it is recommended a resin bound material is used creating a permeable but accessible space for all.

In addition, the Leisure Officer points out that a pedestrian crossing facilities are now in place on Sydney Road improving the access to nearby the Lime Avenue play facilities located in Lime Tree Park off Greendale Avenue to the south of Sydney Road.

Outdoor Sport

In terms of outdoor sports facilities Policies SE6, SC1 and SC2 states that major residential developments contribute, through land assembly and/or financial contributions, to new or improved sports facilities where development will increase demand and/or there is a recognised shortage in the locality that would be exacerbated by the increase in demand arising from the development.

The proposal will increase demand on existing facilities and as such a financial contribution towards off site provision will be required. The financial contribution is required at a rate of £1,000 per family (2+bed) dwelling and £500 per 2+ bed apartment. The funds would be used in line with the Council's adopted Playing Pitch Strategy or the emerging supplementary planning document.

It is therefore considered that although the proposed provision of open space does not fully meet CELPS Policy SE6, it is nevertheless proportionate to the size of this development to meet the needs of residents.

The Council's Leisure Officer raises no objections to the overall provision of public open space and also the provision of Children's play (LAP) proposed within the scheme. This is subject to conditions being attached requiring details and specification of the LAP, the approval fully detailed landscaping plans along with a long term management and maintenance plan for the POS.

Design/Layout

The importance of securing high quality design is specified within the NPPF and Policies SE1, SD1 and SD2 of the CELPS, GEN1 of the SADPD and the Cheshire East Design Guide. Development proposals should consider the wider character of a place in addition to that of the site and its immediate context, to ensure that it reinforces the area in which it is located.

The Council's Design Officer has undertaken an assessment of the proposals against the objectives out by the Cheshire East Design Guide SPD.

Design – Assessment

Connectivity

The site is essentially a tightly constrained back-land site to the rear of existing houses on Sydney Road in Crewe, with an existing access located between nos.72 and 74. This is the only way to access the site as alternative connections are not possible to the east due to railway line and existing homes. The access road is suitably wide and well-designed, and the Design Officer raises no concerns with regard to external connectivity.

Layout

The Councils Design adviser considers that the layout is simple yet effective for what is a small and constrained site. The three proposed bungalows are well located adjacent to the access of the site, with the corner-turning house on plot 45 providing enclosure to the gateway and additional surveillance. Upon entering the site, the focus is on the tree-lined open space to the centre of the walk-up apartment blocks as illustrated in the Design and Access Statement

Scale and Massing

The proposals mainly comprise 2-storey blocks of a domestic scale but with 3no. bungalows adjacent to the site entrance. This is considered wholly appropriate in this location.

Street Hierarchy

This is a small scheme with a suitably simple hierarchy of streets comprising the main primary access route with some short 'lanes' and shared drives. The design of the streets is considered appropriate.

A clear street hierarchy is defined for this small scheme which conforms to the principles of the Design Guide. and provides good accessibility throughout the site. Care has been taken to avoid over-engineered roadways. This ensures that vehicle speeds are reduced, enabling streets with the scheme to also function for pedestrians and cyclists as well as having the potential to be used as social spaces

Parking

Parking is provided at an appropriate level and is provided predominantly to the front of homes. This is therefore easily accessible and well overlooked. Parking courts are suitably small and

close to the homes that they serve. Whilst an over reliance on frontage bays can cause cars to dominate the street scene, there is a use of landscape that reduces this here, and overall, and the proposed approach to parking is considered acceptable.

Public and Private Space

The Design Officer advises that adequate POS is provided, (approx.1000 sq. m) which is designed attractively and ensures that existing trees/hedges will be incorporated. The location of this POS at the heart of the layout means that this acts as a real focal point within the whole development. Amended plans include the provision of a small equipped play area ensuring opportunities for children's play will be maximised and its design/specification will be secured through a planning condition.

Semi-private spaces to the fronts are clearly overlooked, surrounded by planting and would feel as if they were 'owned' by the property they relate to. Private gardens are of reasonable size and all rear gardens are accessible without going through homes meaning that there is adequate space for refuse and recycling provision as well as cycle storage. Conditions are recommended to requiring further details of cycle and bin storage arrangements, particularly for the apartments.

Character

The local area is characterised by 1960s -1980s semi-detached and detached housing. The site is also contained and consequently not prominent from public vantage points other than from the vehicular access into the site. A local character area study and the DAS signposts where the key design decisions have been taken from. The Design Officer concludes that the net result is a simple and uncluttered architecture utilising a palette of suitable local materials. This is in line with the guidance set out in the Cheshire East Borough Design Guide.

Summary

This application provides a good mix of 100% affordable homes from apartments to bungalows. Following a series of iterations and amendments through previous planning applications the design has been refined and is considered to be acceptable.

Design Conclusion

Given the site location and character of development, these proposals are of a density which would not adversely affect the landscape and townscape of the surrounding area, therefore representing an efficient use of land in compliance with Policy SE.2 of the Local Plan Strategy.

It is considered that an acceptable design/layout has been achieved and includes a well-designed area of public open space to meet the needs of residents. It is considered that the proposed development accords with the principles of the Cheshire East Design Guide and Policy SE.1 of the Adopted Local Plan Strategy

Amenity

SADPD Policy HOU 12 (Amenity) that new development should not be permitted if it is deemed to cause unacceptable harm upon neighbouring amenity such as form overlooking, visual intrusion or noise and disturbance. In addition, Policy HOU13 of the SADPD identifies the following separation distances;

- 21 metres for typical rear separation distance (24m plus 2.5m per additional storey)
- 18 metres for typical frontage separation distance (20m for three-storey buildings)
- 14 metres for a habitable room facing a non-habitable room (the addition of 2.5m per additional storey).

The closest existing properties to the application site are those of Sydney Road backing on the western boundary and No.54 Sydney Road adjoining the northern site boundary.

Care has been taken to ensure that the layout of the proposed development does not create issues with overlooking, loss of privacy or loss of light to existing properties (Nos 54A to 86 Sydney Road) to the west due to the juxtaposition of the proposed dwellings and the provision of adequate separation distances in accordance with Policy HOU13.

A rooflight serving a bedroom is included within the rear roof slopes of plots 42- 45 which back onto existing properties of Sydney Road (Nos 74 & 76). However, these rooflights are positioned at sufficient height from floor level to prevent unacceptable overlooking of adjacent properties. In addition the submitted site sections demonstrate that the lower levels of the site, coupled with distance (23.2m) between principal windows and the proposed rooflights, will satisfactorily minimise overlooking of Nos 74 and 76 Sydney Road .

Whilst the gable end of detached house at No. 54 Sydney Road is sited adjacent to the northern site boundary, it contains no principal windows. As a result, an acceptable relationship will therefore be achieved between No.54 Sydney Road and proposed dwelling (Plots 12 to 19) sited adjacent to the northern site boundary.

The side elevation of plot 11, which contains no windows, is sited adjacent to the northern boundary and in a position forward of the front elevation of No.54. However, a sufficient distance will remain between Plot 11 and principal windows within the front elevation of No.54 to not result in an unacceptable loss of light, outlook or overbearing impact. This will also be the case should the extensions and alterations to No.54 approved under 22/0043N be implemented.

However, to safeguard the amenities of existing properties adjoining the site, it is recommended that a conditions be imposed removing Permitted Development Right's from the scheme to enable control of future extensions, roof additions (e.g. dormers) and provision of outbuildings.

Although concerns have been raised as regards the vehicular use of the proposed site access, it is not considered that the low traffic movements generated by this development will give rise to unacceptable noise, disturbance or amenity issues to existing dwellings. Concerns have also been raised regarding the siting of a small residential parking court located close to the northern boundary with No.54 Sydney Road. However, given its small size and low levels of vehicular movements, parking areas of this kind would not typically result in an adverse impact

on residential amenity in terms of unacceptable noise and disturbance. It would also be screened from No.54 by existing vegetation alongside the site boundary.

Policy HOU13 of the SADPD states that proposals for housing development should 'include an appropriate quantity and quality of outdoor private amenity space, having regard to the type and size of the proposed development'. Although some of the proposed gardens are a little small in size, notwithstanding this, it is deemed that they are sufficient in order for the future occupiers to enjoy normal activities e.g. sitting out, hanging washing, BBQs etc. Furthermore, an area of shared public green space is provided within the development. A planning condition is recommended to ensure the provision of satisfactory boundary treatment with adjoining properties.

In consideration of amenity for future occupiers of the proposed development, the layout adheres to, or closely adheres with, the recommended separation standards within CEC Design Guide to ensure the future occupiers of the proposed development are not detrimentally impacted in terms of loss of light, or privacy, or an overbearing impact from each other.

It is therefore considered that the amenities of the occupiers existing neighbouring dwellings or future occupants of approved development will not be detrimentally affected in relation to with regard to loss of light, privacy, or an overbearing impact. The proposed development would comply with Policies HOU12 and HOU13 of the SADPD.

Environmental issues associated with this development in terms of railway noise, air quality and contaminated land are addressed below.

Highways

The site is located on a triangular plot of land just north of the bridge and east of Sydney Road in Crewe, and sandwiched in between Sydney Rd and the railway line.

The site is undeveloped with little traffic movement associated with it. There is an existing gated access from the site to the adopted access road from which Sydney Road is accessed from. The proposal is a full application for 45 affordable dwelling units with the existing access retained and upgraded.

Safe and suitable access

The site would provide footways from the site access to the existing footways on Sydney Road assisting in the provision of access to the wider area and to nearby bus stops.

As part of the Sydney Road Bridge widening there have been significant improvements to the pedestrian and cycling infrastructure including an uncontrolled crossing point just north of the bridge (approximately 30m south of the site access), a signalised pedestrian crossing just south of the bridge, and new footway and cycle lanes connecting to the wider area.

A Transport Statement has accompanied the application and the Strategic infrastructure Manager concurs with its findings. The proposal would generate around 25 two-way vehicle trips during the peak hour, and the Highway Officer has advised that this would have negligible impact on the local highway network.

Objections have been raised by neighbouring properties in relation to highway safety given the location of the site access which is close to the re-opened Sydney Road Railway Bridge and reinstatement of two-way traffic flow. However, the Highway Officer has confirmed that visibility of oncoming traffic from the proposed access onto Sydney Road is acceptable and traffic flows will not make it unsafe.

The site access onto the existing access road will also be upgraded to CEC adoptable standards and would have sufficient visibility of oncoming vehicles. The overall road layout of the scheme and the provision of on-site parking are considered acceptable.

The development would provide footways from the site access to the existing footways on Sydney Road assisting in the provision of access to the wider area and to near-by bus stops.

Summary

The Highway Officer has confirmed that a safe and suitable access to the site can be achieved. It is considered that the development would have a minimal impact upon the highway given the modest levels of traffic movements which it would be expected generate.

A condition is recommended requiring the submission and approval of a Construction Management Plan including details of contractor and construction vehicle parking locations, materials loading/unloading locations, and wheel wash facilities.

Ecology

The proposals and the supporting Ecological Appraisal, wildlife surveys and additional information have been assessed by the Council's Ecologist.

Bats

An oak tree on site has been identified as having moderate bat roost potential. This tree is however retained as part of the proposed development. Trees in 'G2' were identified as having low potential, during the initial assessment. An updated assessment has been undertaken and the status of the trees remains unchanged. Trees within G2 are unlikely to support roosting bats.

The submitted Preliminary Ecological Appraisal identifies the application site as having moderate suitability for commuting and foraging bats and recommends that a series of activity surveys are undertaken to establish the importance of the site for bats. In the absence of these surveys, the Council's Ecologist advises that the site is likely to be of local value for bats.

The proposed development has the potential to result in an impact upon bats because of the loss of foraging habitat and impacts associated with the lighting of the scheme. The submitted lighting scheme, however, avoids any significant light spill upon features likely to be used by foraging bats. The proposed lighting of the development is therefore unlikely to result in a significant impact upon bats.

The proposed development retains some mature trees around the boundary of the site but would result in the removal of some trees and scrub. The Council's Ecologist considers that the loss of vegetation from the site would result in a minor adverse impact upon foraging and

commuting bats. However, this would be unlikely to be sufficient to result in an offence. If planning consent is granted it must be ensured that sufficient compensatory habitat is proved in relation to that lost. This can be assessed by means of the biodiversity metric set out below.

Badgers

Based upon the current levels of badger activity on the site, the development is not likely to result in a significant adverse impact upon this species. However, a condition is required to secure the submission of an updated badger survey prior to the commencement of development.

Hedgehog

No evidence of this priority species was recorded during the submitted survey. The submitted report however advises that it may occur on site. To reduce the risk of hedgehogs being harmed during works the submitted report includes recommendations for the implementation of avoidance measures. A condition is recommended to ensure the development is implemented in accordance with the Hedgehog Reasonable Avoidance Measures detailed in the submitted Ecological Appraisal.

Reptiles

Slow worms are known to occur on railway embankments around the Crewe area. The presence of slow worm is sufficient for a site to be selected as a Local Wildlife Site. The submitted preliminary ecological appraisal has identified the habitats on the application site as being suitable for reptiles. A detailed reptile survey has been submitted in support of this application. No evidence of reptiles was recorded, and the Council's Ecologist advises that this species group is unlikely to be present or affected by the proposed development.

Toad

This priority amphibian species was recorded on site during the reptile surveys. Toad presence on the site may be limited to dispersing juvenile animals. The Council's ecologist considers that the proposed development will result in a localised adverse impact on the species as a result of the loss of distant terrestrial habitat and the risk of animals being killed or injured during the construction phase. The risk of Toad being killed during the construction phase can be reduced through the imposition a condition requiring the development to proceed in accordance with the Reasonable Avoidance Measures detailed in the submitted Reptile Report.

Great Crested Newt

The Council's Ecologist has advised that this species is unlikely to be affected by the proposed development and no further action is required in respect of GCN.

Nesting Birds

Standard conditions are recommended to safeguard nesting birds

Hedgerows

Native species hedgerows are a priority species and hence a material consideration. There is an existing hedgerow located on the eastern boundary of the site and the layout plan shows the hedgerow being retained as part of the proposed development.

The submitted biodiversity metric also shows that the proposals would result in a gain for hedgerow biodiversity with 240m of new native hedgerow proposed as part of the site landscaping.

Biodiversity Net Gain

In accordance with Local Plan policy SE3(5) all development proposals must seek to lead to an overall enhancement for biodiversity. In order to assess the overall loss/gains of biodiversity an assessment undertaken in accordance with the Defra Biodiversity 'Metric' version 3.1.

The revised metric calculation as submitted shows that the proposed development would result in a 100% net gain for biodiversity. This however is an error as no 'strategic significance' inputs have been entered for the existing habitats on site. The Council's Ecologist has reviewed the metric and recommends that the following revisions be made:

- The proposed scrub should be entered as achieving Moderate condition, as the areas of planting are too small to provide the glades and clearing necessary to achieve Good Condition.
- Existing baseline habitats should have a 'strategic significance' entry of 'Area not in local strategy/no local strategy'.
- The tall Ruderal Vegetation on site has been incorrectly entered as Tall Herb Communities.

The metric has been revised to reflect the above and the metric calculation shows a net loss of -4.61 biodiversity units (59.72%).

The applicant has indicated an intention to instruct a third-party Habitat Provider to deliver sufficient offsite habitat creation at an offsite location.

A Section 106 agreement will be required to secure the following:

- A habitat creation method statement
- 30 year management plan and monitoring strategy
- A Biodiversity Metric calculation to demonstrate that the above
- A location plan confirming the location of the proposed habitat works.

The section 106 would usually be signed by both the developer and the habitat provider.

This planning application provides an opportunity to incorporate features, such as bat and bird boxes and gaps for hedgehogs, to increase the biodiversity value of the final development in accordance with CELPS Policy SE 3.

The Council's Ecologist has advised that an acceptable ecological enhancement strategy has been submitted. A planning condition is recommended to ensure these features are installed on site in accordance with the submitted Ecological Enhancement Strategy. Where features are to be incorporated into a residential property or associated garden these are to be installed prior to the first occupation of that property.

Summary

It is considered that ecological issues can be addressed through suitably worded conditions and the creation of an off-site habitat to deliver Biodiversity Net Gain. Therefore, it is considered that the proposal accords with CELPS Policy SE.3

Landscaping

There are no existing buildings or significant landscape features to retain on site, and no particular or significant wider views to exploit, other than into the development from Sydney Road. However existing trees have been retained where possible, through the provision of public open space adjacent to the eastern boundary of the site.

In response to issues raised by the Council's Landscape Officer, amended plans have been submitted to enhance on site landscaping through;

- The provision of landscaping enhancements including tree planting in rear gardens along the western boundary of the Site to filter views from adjoining properties of Sydney Road.
- Retention of the existing hedgerow at the eastern boundary to the west of the existing pylon
- the Location of the pumping station has been adjusted to enable retention of boundary vegetation

Areas of landscaping and open space within the site will be subject to management arrangements secured under the S106 agreement and need to accord with maintenance details set out within a landscape management plan. A condition is therefore recommended to secure the approval and implementation of a long-term landscape management plan.

The submitted application documents include a landscape masterplan and a more detailed suite of landscape plans which provide acceptable overall landscaping scheme for the site. However, it is considered that insufficient details of the planting specifications for trees, shrubs and hedgerows have been provided. A condition is therefore recommended that notwithstanding the submitted plans, additional details of planting specifications are provided and approved.

The Landscape Officer raises no objection to the application and recommends that conditions are attached requiring the submission of landscape details. implementation of approved landscaping, details of boundary treatments and the submission and approval of a Landscape Management Plan.

Impact on Trees

A supporting Arboricultural Statement has been submitted and assessed by the Council's Tree Officer. This identifies the removal of 3 individual, 3 groups and part of 2 groups of trees all of which have been surveyed as low-quality C Category trees.

Group G4 is however considered to be a lapsed boundary hedgerow. The report describes the section of hedgerow as, *a discontinuous, species poor defunct hedgerow of relatively low quality*, and expresses the view that it is unlikely to fulfil the requirements of an 'important

hedgerow' in accordance with the Hedgerow Regulations. Nevertheless, amended plans have secure its retention.

The Tree Officer considers that in terms of retained trees the proposals are acceptable. It is recommended that provision should be made for no dig construction methods, or as a minimum, arboricultural supervision in the RPA of tree T4 (Oak) adjacent to the eastern boundary given the proposed pedestrian pathway and new hard standing.

It is considered that spatial relationships of retained trees with plots to the north and western boundary does present an improved and more sustainable relationship than that formerly accepted in terms of trees with refused application 18/5510N, and demonstrates that retained trees could be protected throughout any construction period.

The Tree Officer therefore raises no objection to the proposals subject to conditions being imposed to ensure the protection and retention of trees during development.

Loss of Agricultural land

Policy SE2 of the Local Plan Strategy sets out that development should safeguard natural resources including high quality agricultural land (grades 1, 2, and 3a), whilst recognising that some reduction of agricultural land is inevitable if new development is to proceed. The National Planning Policy Framework also highlights that the use of such land should be considered when determining planning applications. It advises local planning authorities that, 'significant developments' should utilise areas of poorer quality land (grades 3b, 4 & 5) in preference to higher quality land.

In this case the site comprises of Grade 3 Agricultural Land. However, the loss of such a small and constrained parcel, which is enclosed on by residential properties and the railway line is acceptable. As a result, this issue needs to be considered as part of the planning balance.

Flood Risk

The application site is located within Flood Zone 1 according to the Environment Agency Flood Maps. Flood Zone 1 defines that the land has less than 1 in 1000 annual probability of flooding and all uses of land are appropriate in this location. As the application site is more than 1 hectare, a Flood Risk Assessment (FRA) has been submitted in support of the application.

The originally proposed drainage arrangements for the site have been revised as the developer cannot access an off-site water course (brook) over third party land to discharge surface water. An updated FRA/drainage strategy and foul sewerage statement have been submitted which proposes that surface water from the site will now be pumped to the United Utilities combined sewer in Sydney Road with the provision of on-site attenuation to ensure flows are limited to greenfield run-off rates.

United Utilities have been re-consulted on the revised drainage arrangement and raise no objections, subject to a condition requiring that site drainage is implemented in accordance with principles set out in the submitted Surface Water Drainage strategy. The LLFA (Flood Risk) have also advised that it has no objection to proposals, but recommend that a condition is

imposed requiring approval of the detailed design and associated management and maintenance plan of the surface water drainage scheme.

Contaminated Land

Environmental Health has been consulted regarding contamination and the Contaminated Land team has raised no objections. This is however subject to conditions being imposed requiring an updated Phase II ground investigation be undertaken in order to further investigate the potential contamination risks at the site.

Air Quality

Whilst this scheme itself is of a small scale, and as such would not require an air quality impact assessment, there is a need for the Local Planning Authority to consider the cumulative impact of a large number of developments in a particular area. In particular, the impact of transport related emissions on Local Air Quality.

Modern Ultra Low Emission Vehicle Technology (such as all electric vehicles) are expected to increase in use over the coming years (the Government expects most new vehicles in the UK will be ultra-low emission). As such, it is considered appropriate to create infrastructure to allow home charging of electric vehicles in new, modern, sustainable developments. The Council's Environmental Health Officer recommends conditions to mitigate the impact on air quality including the provision of ELV infrastructure, a Residents' Travel Information Pack incorporating local information on sustainable transport and installation of Ultra Low Emission Boilers.

Noise Impact

The proposed development is located next to the West Coast Main Line and noise from this would have the potential to adversely impact upon any residential properties.

An acoustic report has been submitted in support of the application. The Council's Environmental Health Officer has advised that the impact of the noise from the west Coast Main Line on the proposed development has been satisfactorily assessed.

It is further considered that the acoustic report's recommended noise mitigation measures will be sufficient in ensuring that occupants of the properties are not adversely affected by noise from the trains on the West Coast Main Line. This includes the provision of through-frame window mounted trickle ventilators for habitable rooms.

The report recommends that measures are needed to control internal noise levels for identified buildings adjacent to, or near to, the site eastern boundary. It is proposed that a whole house ventilation system is utilised to provide background ventilation and fresh air flow, without the need for opening windows. This provision of background ('trickle') ventilators open in living rooms and bedrooms simply provides residents with an alternative to opening these windows to provide ventilation. All windows will remain opening.

It is therefore considered that the proposed development will not have a detrimental impact on the amenity of future residents by virtue of excessive noise or vibration.

Electric Infrastructure - pylon

The National Grid has published guidelines in two documents which are considered most relevant:

- Development Near Overhead Lines (July 2008)
- A sense of Place: Design guidelines for development near high Voltage overhead lines.

Electric and Magnetic Fields (EMFs) - Both documents cover this subject in detail and outline the current legislation on building close to overhead lines. Page 15 of National Grids Publication 'Development Near Overhead Lines' states that 'in the UK at present, there are no restrictions on EMF grounds on building close to overhead lines.' and concludes that 'Neither the UK Government nor the National Radiological Protection Board (NRPB) has recommended any special precautions for the development of homes near power lines on EMF grounds.

Brine Subsidence

The Brine Board has stated that the site is within an area that has previously been affected by brine subsidence and future residual movements cannot be completely discounted. The Board requires the foundations of the development to be of strengthened beyond the specification proposed to satisfactorily mitigate the effects of minor residual brine pumping movements.

An Informative will be attached to advise the applicants of these comments, as details concerning foundation design are matters ordinarily addressed by the Building Regulations.

Economic Benefits

With regard to the economic role of sustainable development, the proposed development will help to maintain a flexible and responsive supply of land for housing as well as bringing direct and indirect economic benefits to the local area including additional trade for local shops and businesses, jobs in construction and economic benefits to the construction industry supply chain.

Other Matters

The issues raised in representation that are material planning considerations have been considered by the relevant specialist officers of the Council, and in the preceding text.

S106 Heads of Terms

Further to the comments above, a s106 agreement will be required to secure:

- 100% affordable rented housing
- Off-site habitat creation
- Open space provision and management
- Education contribution of £54,231
- Healthcare contribution of £38,578
- Recreation and outdoor sport contribution

CIL Regulations

In order to comply with the Community Infrastructure Levy (CIL) Regulations 2010 it is necessary for planning applications with legal agreements to consider the issue of whether the requirements within the S106 satisfy the following:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

The provision of affordable housing, off-site ecological mitigation, outdoor sport (financial) mitigation, education (financial) and healthcare (financial) mitigation are all necessary, fair and reasonable to provide a sustainable form of development, to contribute towards sustainable, inclusive and mixed communities and to comply with local and national planning policy.

The development would result in increased demand for primary school places within the catchment area. In order to increase the capacity of the schools which would support the proposed development, a contribution towards primary school education is required based upon the number of 2-bed units applied for (26). This is necessary and fair and reasonable in relation to the development.

To address an overall loss of biodiversity resulting from the development off-site habit creation/enhancement works will need to be secured to deliver biodiversity net gain.

All elements are necessary, directly relate to the development and are fair and reasonable in relation to the scale and kind of the development. On this basis the S106 recommendation is compliant with the CIL Regulations 2010.

PLANNING BALANCE

The site is within the Open Countryside where, under policy PG6 of the Adopted Local Plan Strategy, there is a presumption against new residential development. The proposed development although affordable, has not been put forward as a Rural Exception Site, and therefore would not fall within any of the categories of exception to the restrictive policy relating to development within the open countryside.

However, the site is an essentially land-locked site and no longer forms part of the functional open countryside as it is contained by existing residential development, the railway line and Sydney Road Bridge, and future development which has been approved beyond the railway line to the east.

A significant benefit of the scheme includes the provision of 100% affordable housing in a sustainable location which would go towards meeting an identified local needs including those of the elderly and young families.

The design of the proposed development adopts key urban design principles and accords with the objectives of the CEC Design Guide, achieving an acceptable relationship with the character of the locality including the appropriate provision of POS/playspace.

The development would also have economic benefits through the provision of employment during the construction phase, new homes and benefits for local businesses.

The development would have a neutral impact upon the following:

- The impact upon protected species/ecology is considered to be neutral subject to the imposition of conditions and delivery of off-site habitat creation secured through the S106 agreement
- The impact on trees and hedgerows, residential amenity, noise, air quality, landscape and flood risk can be addressed through mitigation secured through conditions.
- Highway impact would be broadly neutral due to the scale of the development.
- The impact on Education, Health services and recreation will be mitigated by financial contributions secured by S106 contributions.

The adverse impacts of the development would be:

- The loss of open countryside and the loss of a small parcel of agricultural land albeit a small, contained and essentially land-locked site.

It is considered on balance that in this case the benefits of the scheme weigh significantly in the planning balance and outweigh the disadvantages of the scheme.

Through the assessment as to whether the scheme represents sustainable development, it is considered that it does achieve this in terms of social, environmental and economic sustainability. Therefore, the proposal aligns with the presumption in favour of sustainable development set out in the NPPF, and should be approved without delay

The scheme is therefore recommended for approval.

RECOMMENDATION

APPROVE, Subject to conditions and the prior completion of a S106 Agreement to secure the following:

S106	Requirement	Triggers
Affordable Housing	100% provision Tenure- 100% Affordable Rent	Prior to commencement
Biodiversity Net Gain - Off site Ecological Mitigation	Delivery of off- site habitat creation.	Arrangements to be agreed prior to commencement

Open Space	Management Scheme for POS and landscaped areas	Prior to occupation
Recreation & Outdoor Sports Contribution	£1,000 per family (2+bed) dwelling and £500 per 2+ bed apartment.	Prior to commencement
Education	Total education contribution: Primary £54,231 towards mitigation measures to address forecasted shortfall on primary school places.	50% Prior to first occupation 50% at occupation of 25 th dwelling
Healthcare	Total: £38,578 . Towards local healthcare infrastructure/provision	50% Prior to first occupation 50% at occupation of 25 th dwelling

AND subject to the following conditions;

1. Commencement of development (3 years)
2. Development in accordance with approved plans
3. Details of materials and finishes
4. Hard Surfacing treatments
5. Details of ground and finished floor levels
6. Submission and approval of full details of the design and associated management and maintenance plan of the surface water drainage scheme
7. Submission of landscaping scheme
8. Implementation of landscaping scheme
9. Details of the design, specification and implementation of play provision
10. Submission of Landscape Management Plan
11. Details of boundary treatment
12. Retention of trees
13. Submission and approval of tree protection measures
14. Detailed levels survey to ensure retention of trees.
15. Details of Services and infrastructure layout to safeguard retained trees
16. "No dig" hard surface construction specification
17. Updated badger survey prior to the commencement of development.
18. Implementation of Hedgehog Reasonable Avoidance Measures detailed in the submitted Ecological Appraisal.
19. Implementation of Reasonable Avoidance Measures detailed in the submitted Reptile Report.
20. Safeguarding of nesting birds
21. Implementation of submitted Ecological enhancement Strategy

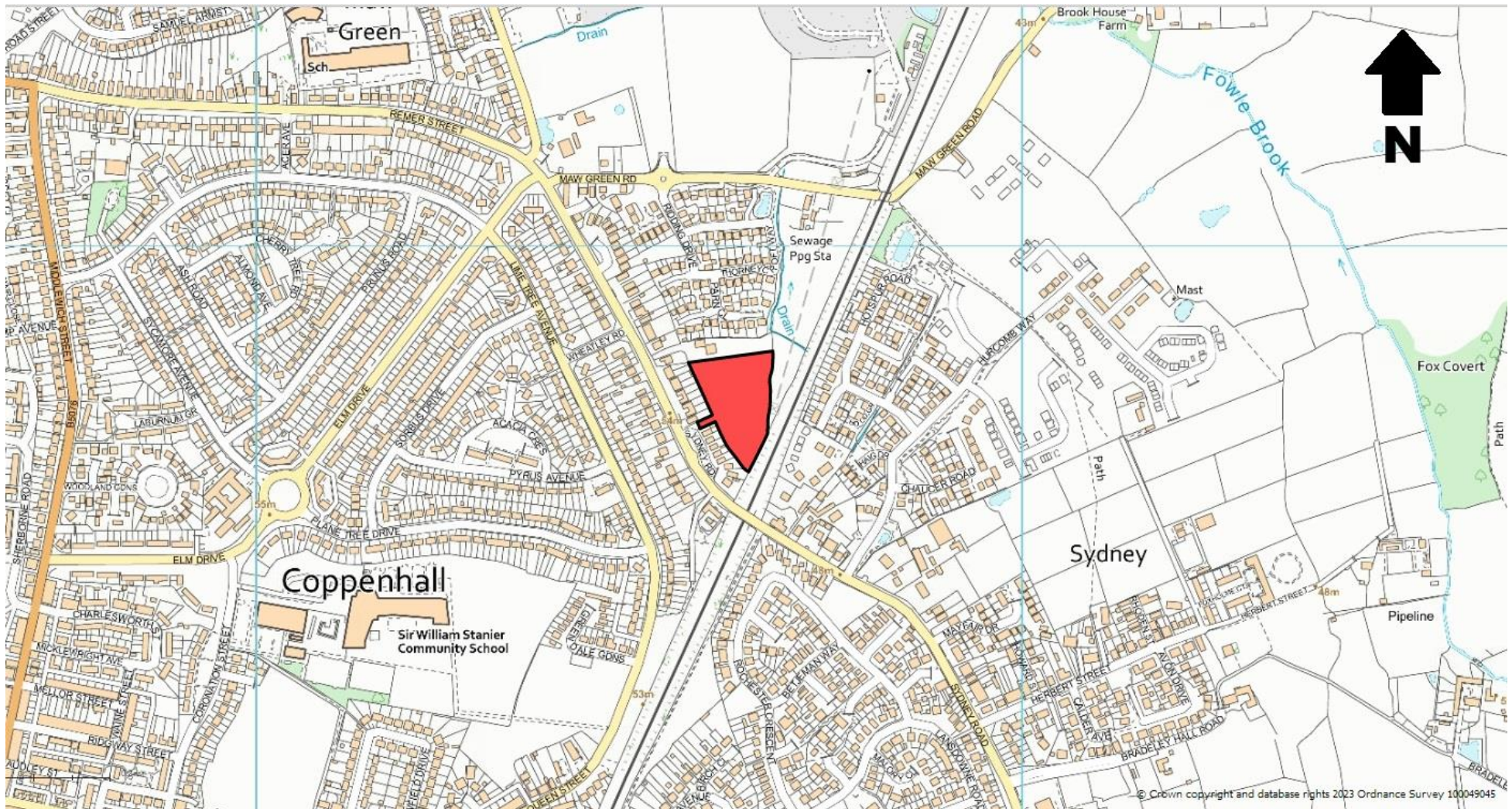
22. Provision of Electric Vehicle infrastructure
23. Provision of Ultra Low Emission Boilers
24. Implementation of noise mitigation measures
25. Submission and approval of Residents' Travel Information Pack
26. Contaminated land - Submission of updated Phase II ground investigation and risk assessment
27. Contaminated land - Verification Report
28. Contaminated land – soil testing
29. Measures to deal with unexpected contamination
30. Submission and approval of Construction Management Plan
31. Development to be implemented in accordance with principles set out in the submitted Surface Water Drainage plan
32. Details of Cycle Storage
33. Details of Bin Storage
34. Implementation of site drainage in accordance with principles set out in the submitted Surface Water Drainage Design
35. Provision of 30% Accessible Dwellings M4(2) within the development
36. Provision of 6% Wheelchair Adaptable Dwellings M4 (3)(2)(a) within the Development
37. Removal of permitted development rights (Part 1 Classes A-E)

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions/informatives/planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Southern Planning Committee, provided that the changes do not exceed the substantive nature of the Committee's decision.

In the event of an appeal, agreement is given to enter into a S106 Agreement with the following Heads of Terms;

S106	Requirement	Triggers
Affordable Housing	100% provision Tenure - 100% Affordable Rent.	Prior to commencement
Biodiversity Net Gain - Off site Ecological Mitigation	Delivery of off- site habitat creation.	Arrangements to be agreed prior to commencement
Open Space	Management Scheme for POS and landscaped areas	Prior to occupation

Recreation & Outdoor Sports Contribution	£1,000 per family (2+bed) dwelling and £500 per 2+ bed apartment.	Prior to commencement
Education	Total education contribution: Primary £54,231 towards mitigation measures to address forecasted shortfall on primary school places.	50% Prior to first occupation 50% at occupation of 25 th dwelling
Healthcare	Total: £38,578 . Towards local healthcare infrastructure/provision	50% Prior to first occupation 50% at occupation of 25 th dwelling




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22/1412N
LAND OFF, SYDNEY ROAD,
CREWE



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Site Location Plan



Notes

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 Site Boundary

Rev	Description	Date	By
A	Planning Issue	28.10.21	SK
-	Initial Issue	15.10.21	SK



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Client:	Anwyl Partnerships			
Project:	Sydney Road, Crewe			
Project Status:	PL - Planning			
Scale:	@ Original Size	Date:	Drawn By:	Checked By:
1:1250	A4	Sept 2021	SK	KOR

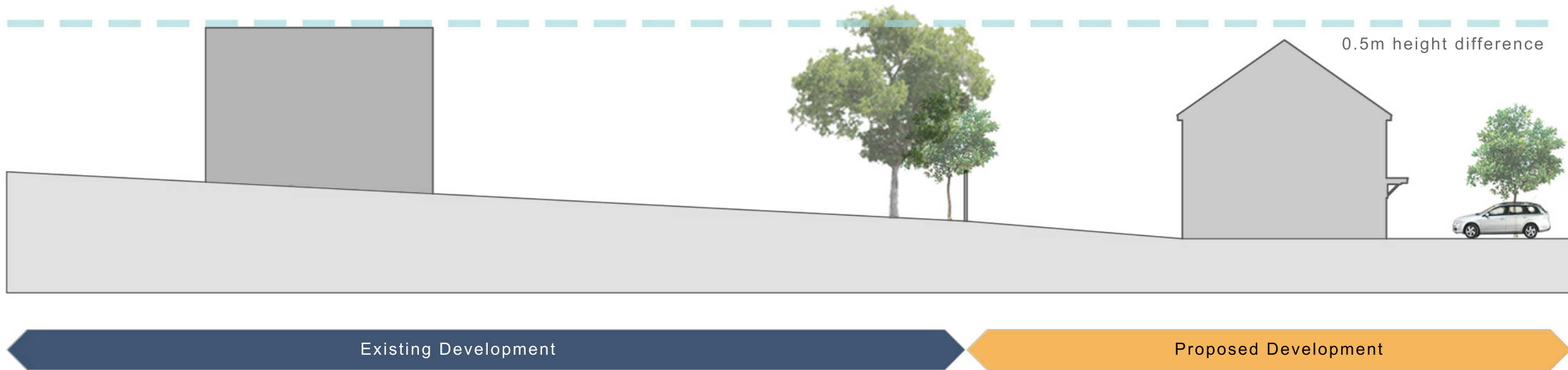
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Description	Site Location Plan			A



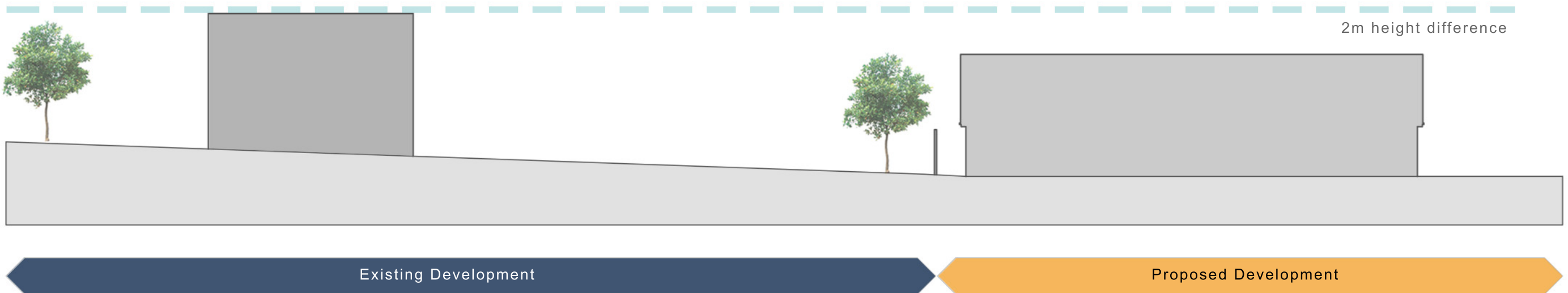


Accommodation Schedule			
	14 No.	2B House	31%
	12 No.	3B Semi Deatched House	27%
	16 No.	1B Walk Up	36%
	3 No.	1B Bungalow	7%
	45 No.	Total Units	100%
	73 No.	Parking Spaces	162%
	1.1 Ha	Site Area	
	41 No.	Dwellings per hectare	

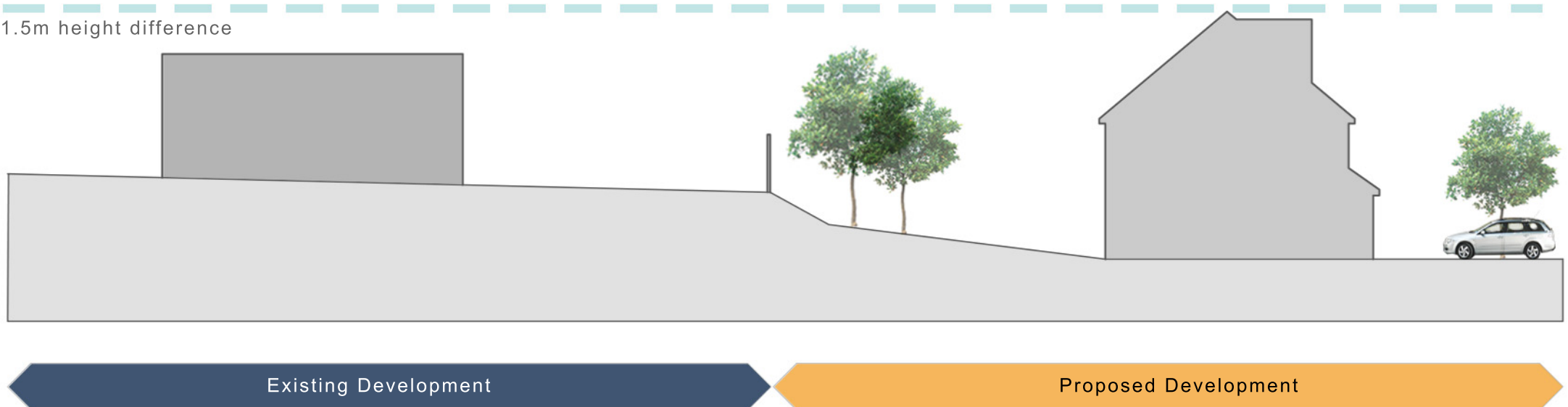
Cheshire East Open Space Requirement: 20sqm/dwelling.
Total Public Open Space Proposed - 909 Sqm
Public Open Space per dwelling - 909 Sqm/45 Units = 20.2 Sqm



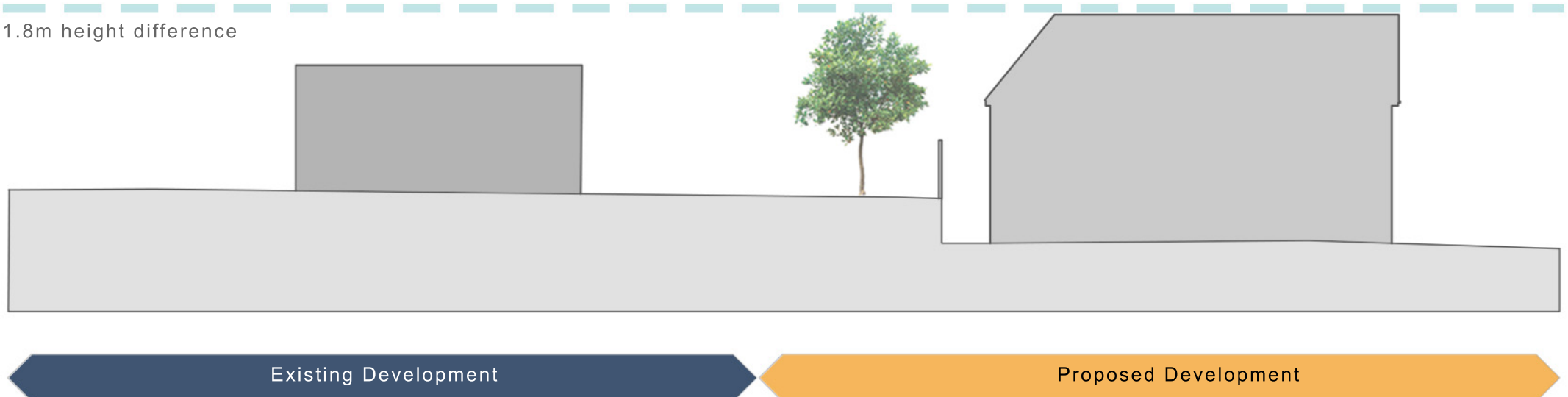
Section A-A
1:200



Section B-B
1:200



Section C-C
1:200



Section D-D
1:200



Key Plan
1:500

P01	Initial Issue	25.01.23	SK	KOR
Rev	Description	Date	By	Chk

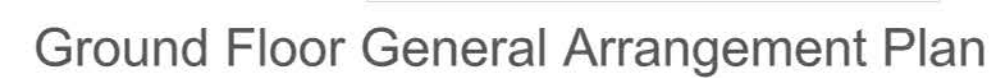
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Client:	Anwyl Partnerships			
Project:	Sydney Road, Crewe			
Project Status:	PL - Planning			
Scale:	@ original size	Date:	Drawn by:	Checked By:
Varies	A1	January 2023	SK	KOR
Project Number	Drawing Number			
1231	A	DR	300	
Description:				Rev
Site Sections				P01

1. Roof Tile
2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



D	Layout amended to achieve Part M4(3)	02.12.22	SK
C	Layout amended to meet 100% NDSS	18.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Larger canopy added and materials amended.	12.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

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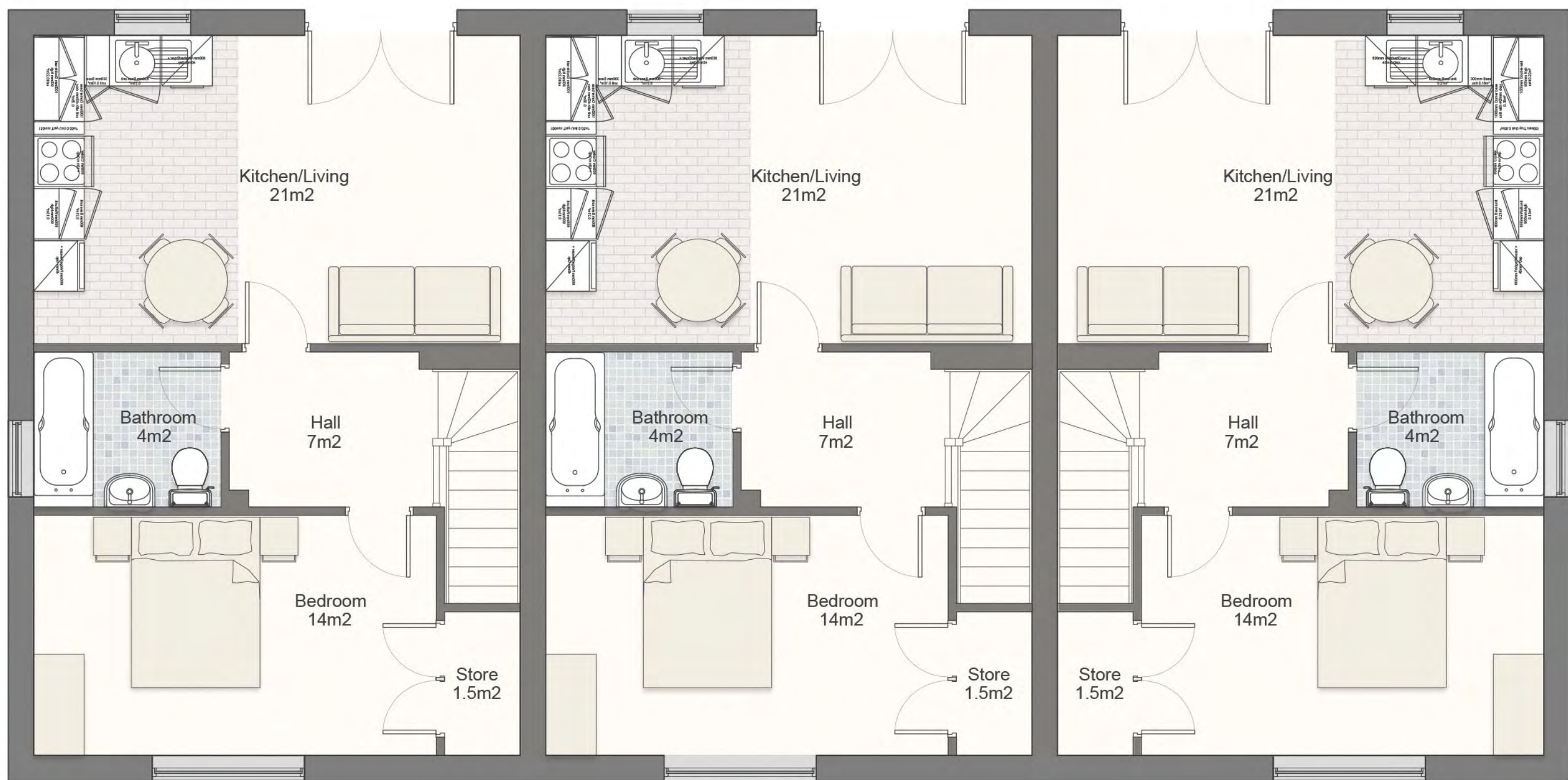
manchester: 0161 336 5011
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Client:		Anwyll Partnerships	
Project:		Sydney Road, Crewe	
Project Status:			
PL - Planning			
Scale:	@ original size	Date:	Drawn by: Checked by:
1:50	A1	Oct 2021	SK KOR

Project Number		Drawing Number	
1231	A	DR	200
Description			
162P Bungalow General Arrangement Plans & Elevations			
			Rev
			D

MATERIAL SPECIFICATION

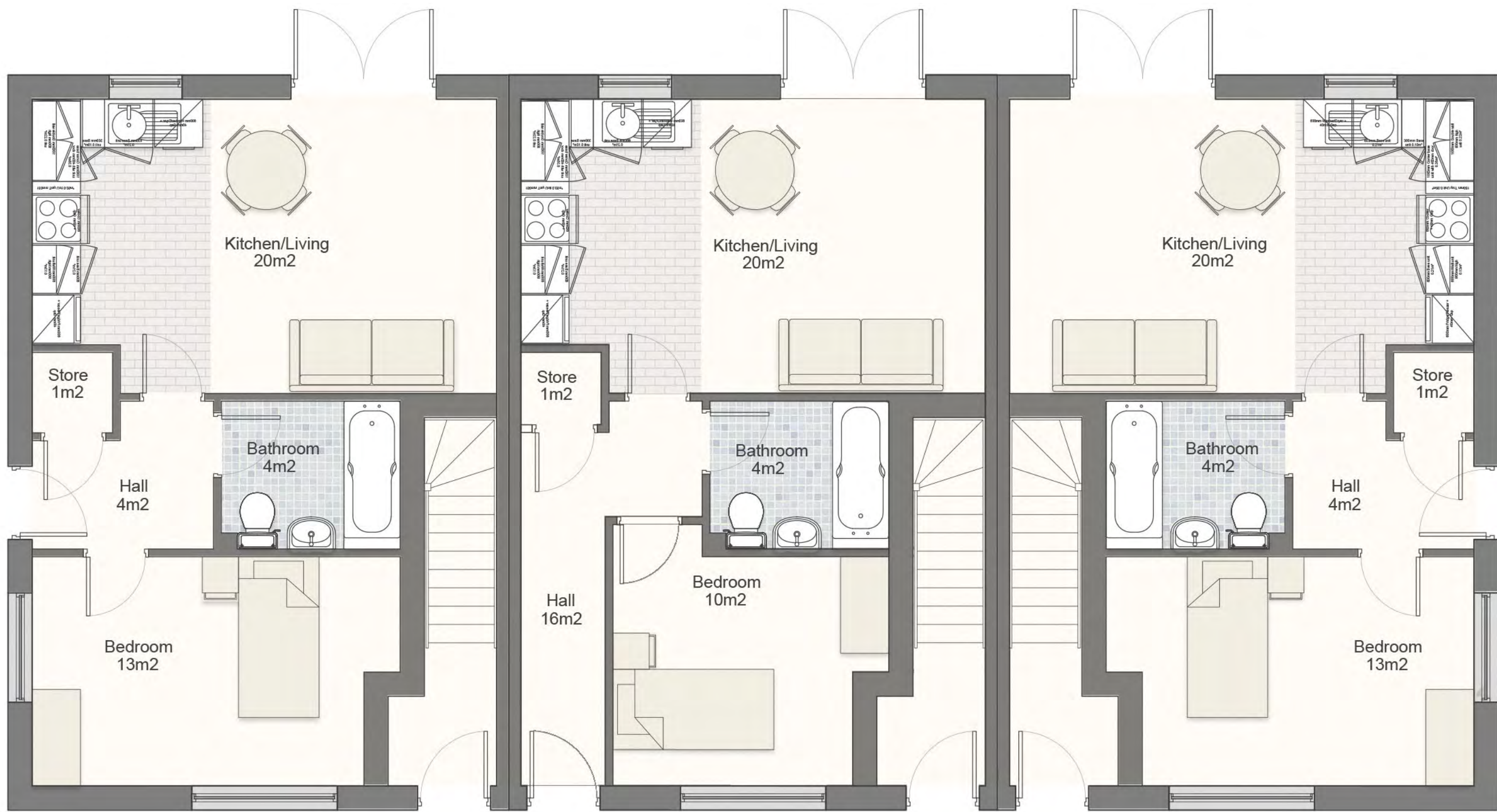
1. Roof Tile
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3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



First Floor General Arrangement Plan



Front Elevation



Ground Floor General Arrangement Plan



Rear Elevation



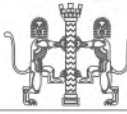
Side Elevation

1 Bed Walk Up - 6 Unit Terrace
45/51sqm (484/549sqft)

Rev	Description	Date	By
C	Layout amended to meet 100% NDSS	12.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Cable feature added and materials amended	13.10.21	SMH
-	Initial Issue	08.10.21	SK



Client		Anvyl Partnerships			
Project		Sydney Road, Crewe			
Project Status		PL - Planning			
Scale	@ Original Size	Date	Drawn By	Checked By	
1:50	A0	Oct 2021	SK	KOR	
Project Number		Drawing Number			
1231		A	DR	201	
Description					Rev
11625 Walk Up Apartment, 6 Unit					C
General Arrangement Plans & Elevations					

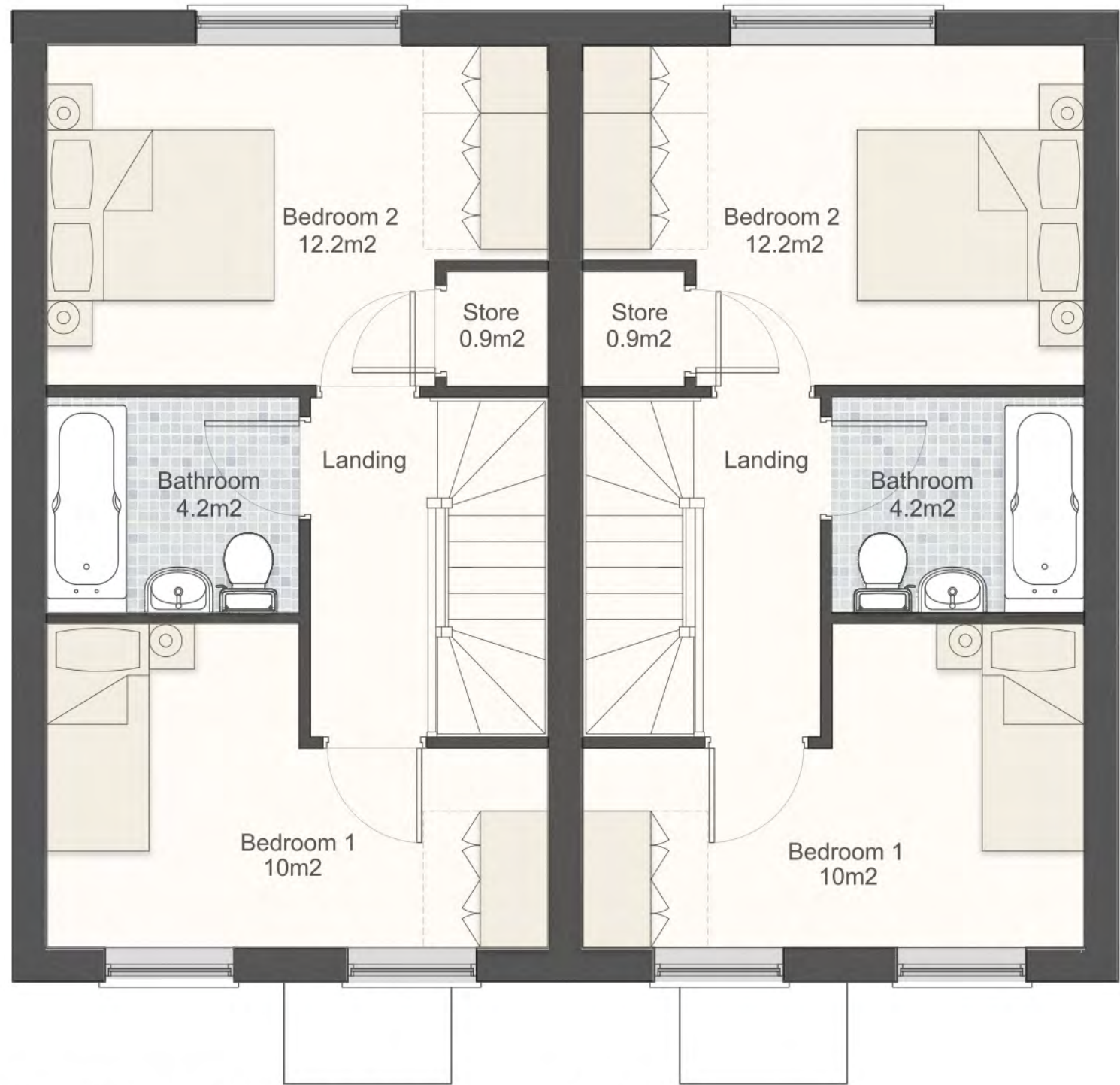


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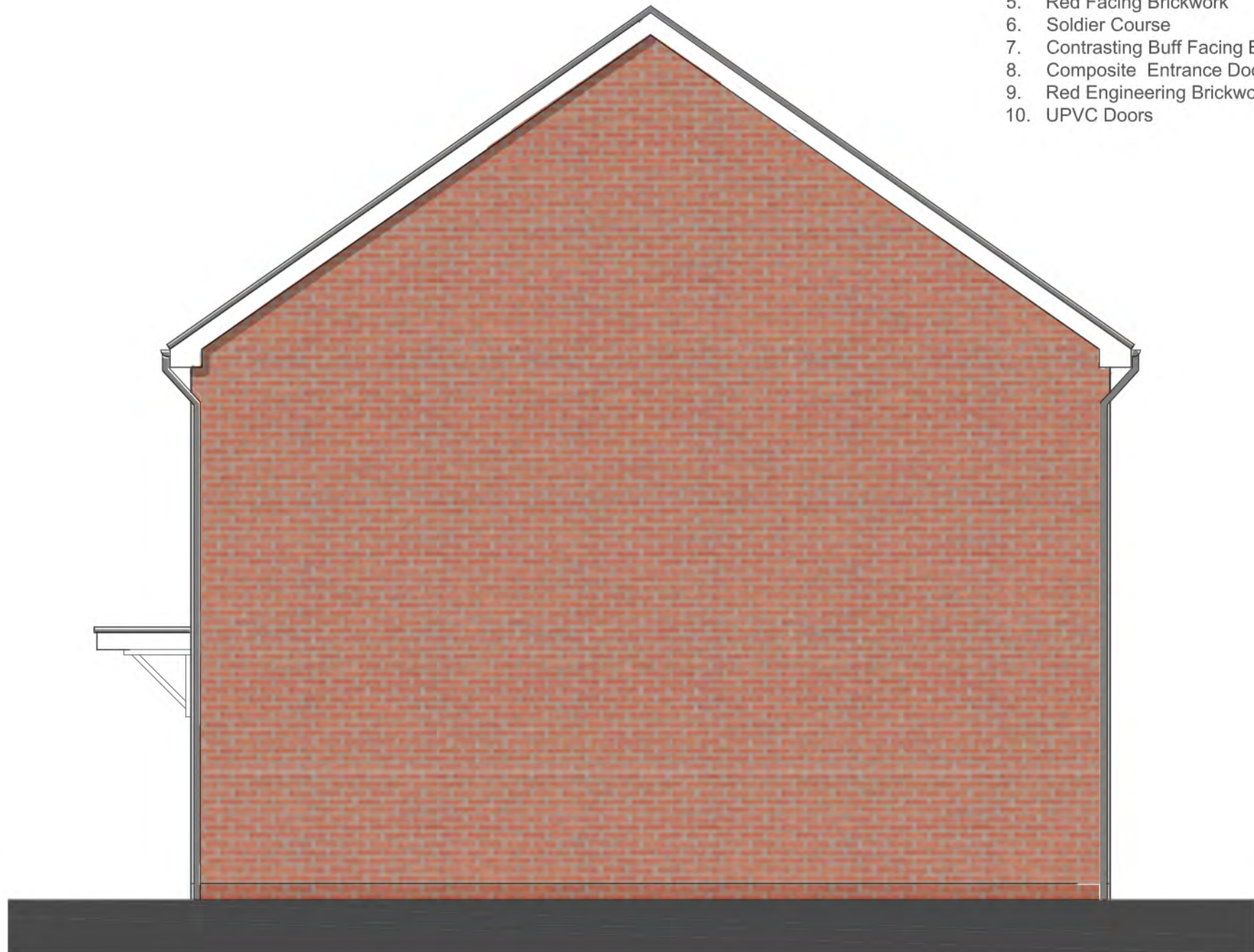
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3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



First Floor General Arrangement Plan



Front Elevation



Side Elevation



Ground Floor General Arrangement Plan



Rear Elevation

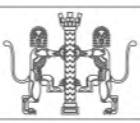
2 Bed Semi-Detached House
70sqm (753sqft) M4(2)

D	Layout amended to achieve Part M4(2)	02.12.22	SK
C	Layout amended to meet 100% NDSS	18.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Materials and front elevation windows amended	12.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

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Client:		Anwyl Partnerships						
Project:		Sydney Road, Crewe						
Project Status:		PL - Planning						
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Description		Rev						
2B Semi-detached House		D						
General Arrangement Plans & Elevations								

Scale 1:50

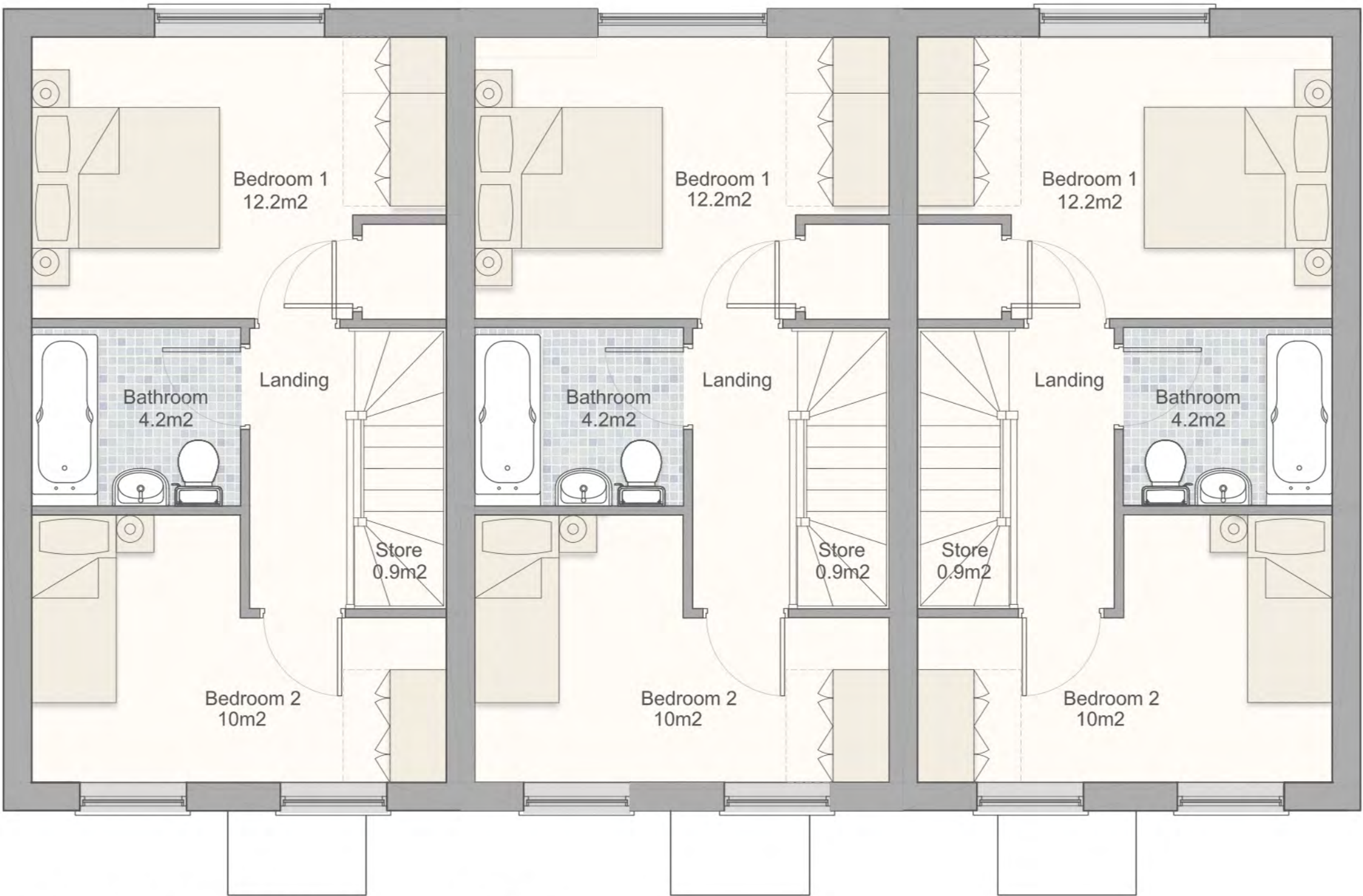


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MATERIAL SPECIFICATION

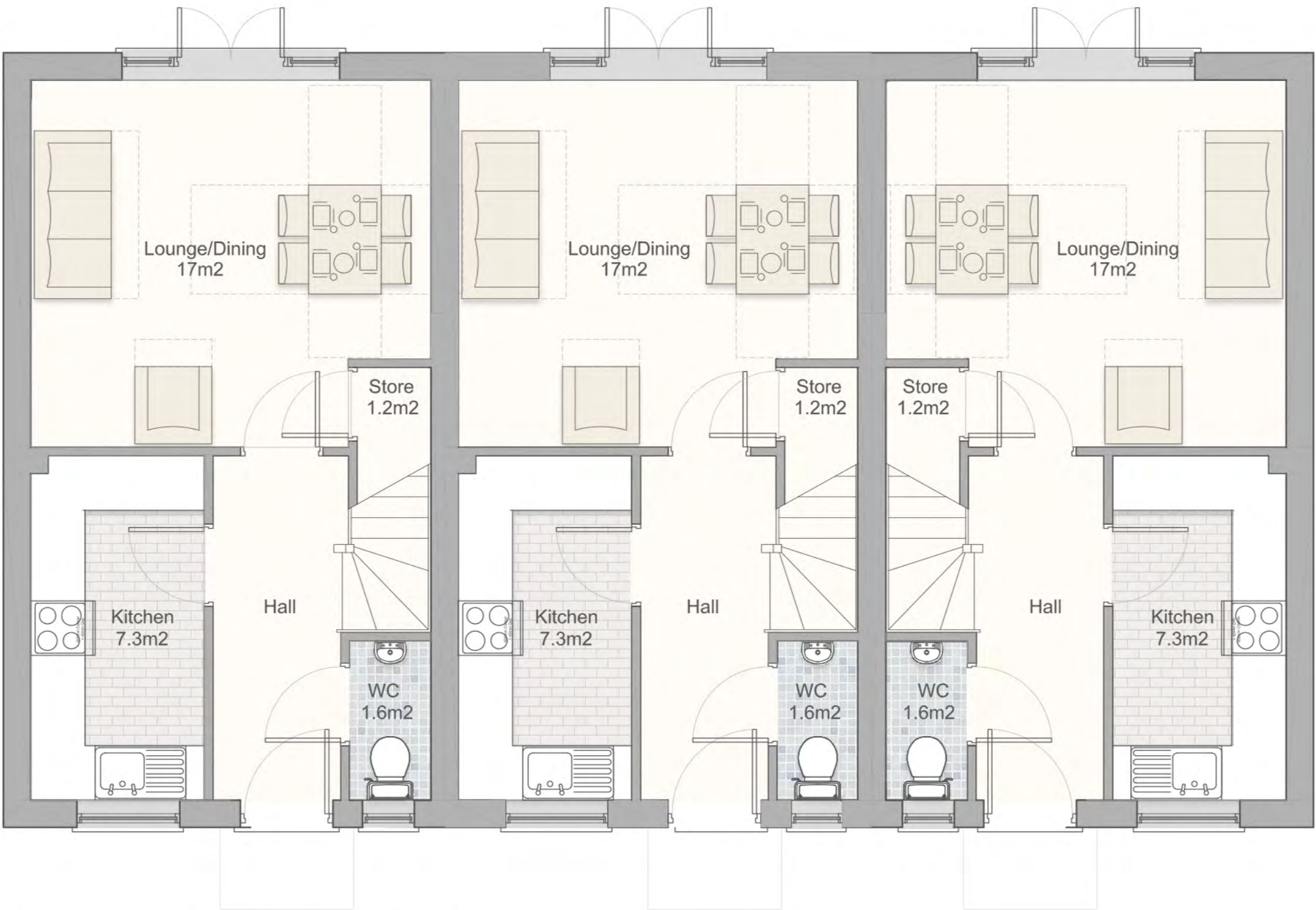
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2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



First Floor General Arrangement Plan



Front Elevation



Ground Floor General Arrangement Plan



Rear Elevation

2 Bed Terraced House
70sqm (753sqft) M4(2)

D	Layout amended to achieve Part M4(2)	02.12.22	SK
C	Layout amended to meet 100% NDSS	18.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Materials and front elevation windows amended	12.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

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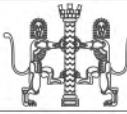
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Client:		Anwyl Partnerships			
Project:		Sydney Road, Crewe			
Project Status:		PL - Planning			
Scale:	@ original size	Date:	Drawn by:	Checked By:	
1:50	A1	Oct 2021	SK	KOR	
Project Number		Drawing Number			
1231		A	DR	204	
Description		Rev			
2B Terraced House		D			
General Arrangement Plans & Elevations					

Scale 1:50

Z:\1231 - Sydney Road, Crewe\Drawings\Layouts\1231_A_DR_204_2B Terraced House.dwg



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MATERIAL SPECIFICATION

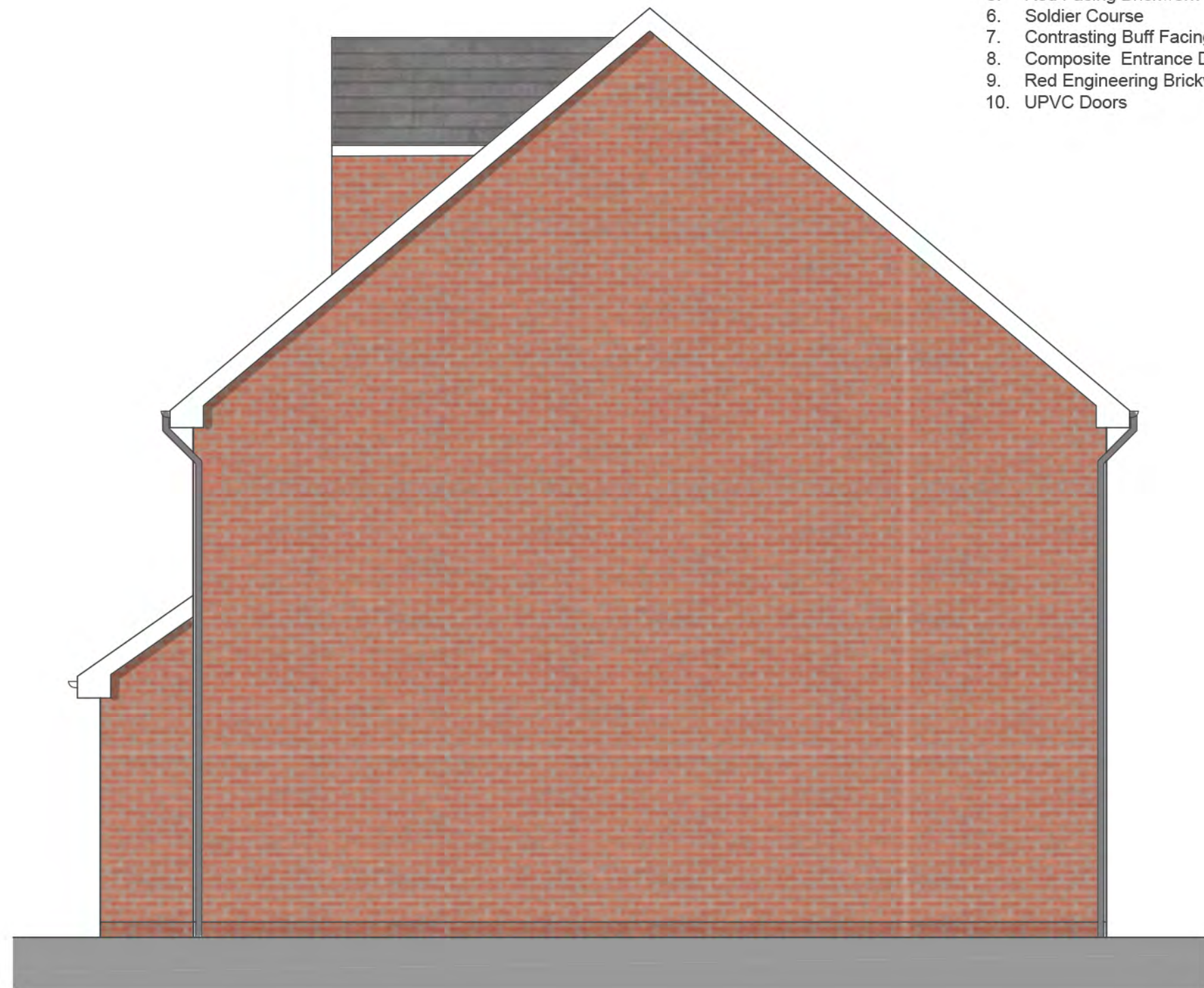
- 1. Roof Tile
- 2. Continuous Dry Verge
- 3. UPVC Gutter & Downpipe
- 4. UPVC Windows
- 5. Red Facing Brickwork
- 6. Soldier Course
- 7. Contrasting Buff Facing Brick
- 8. Composite Entrance Door
- 9. Red Engineering Brickwork
- 10. UPVC Doors



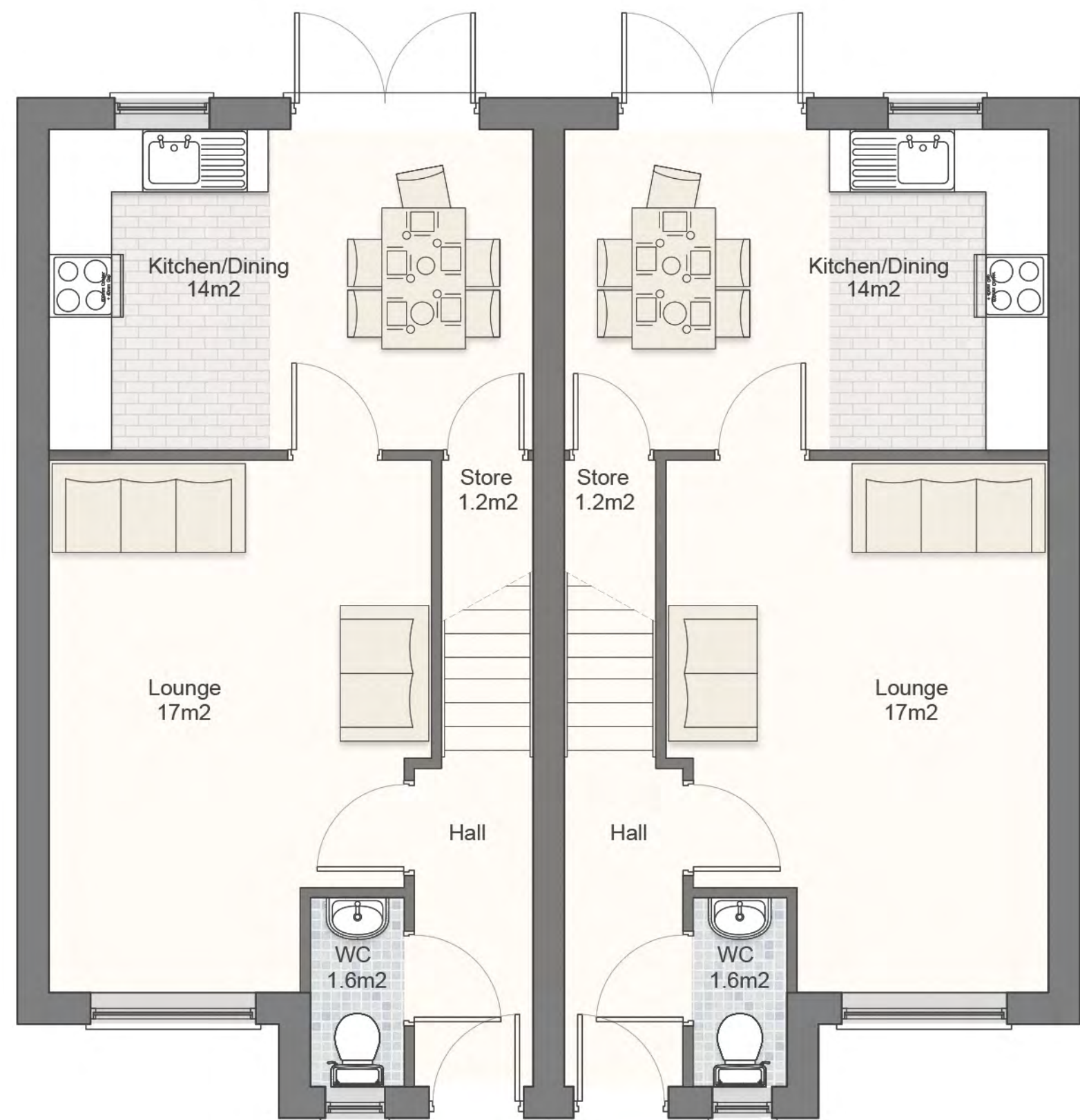
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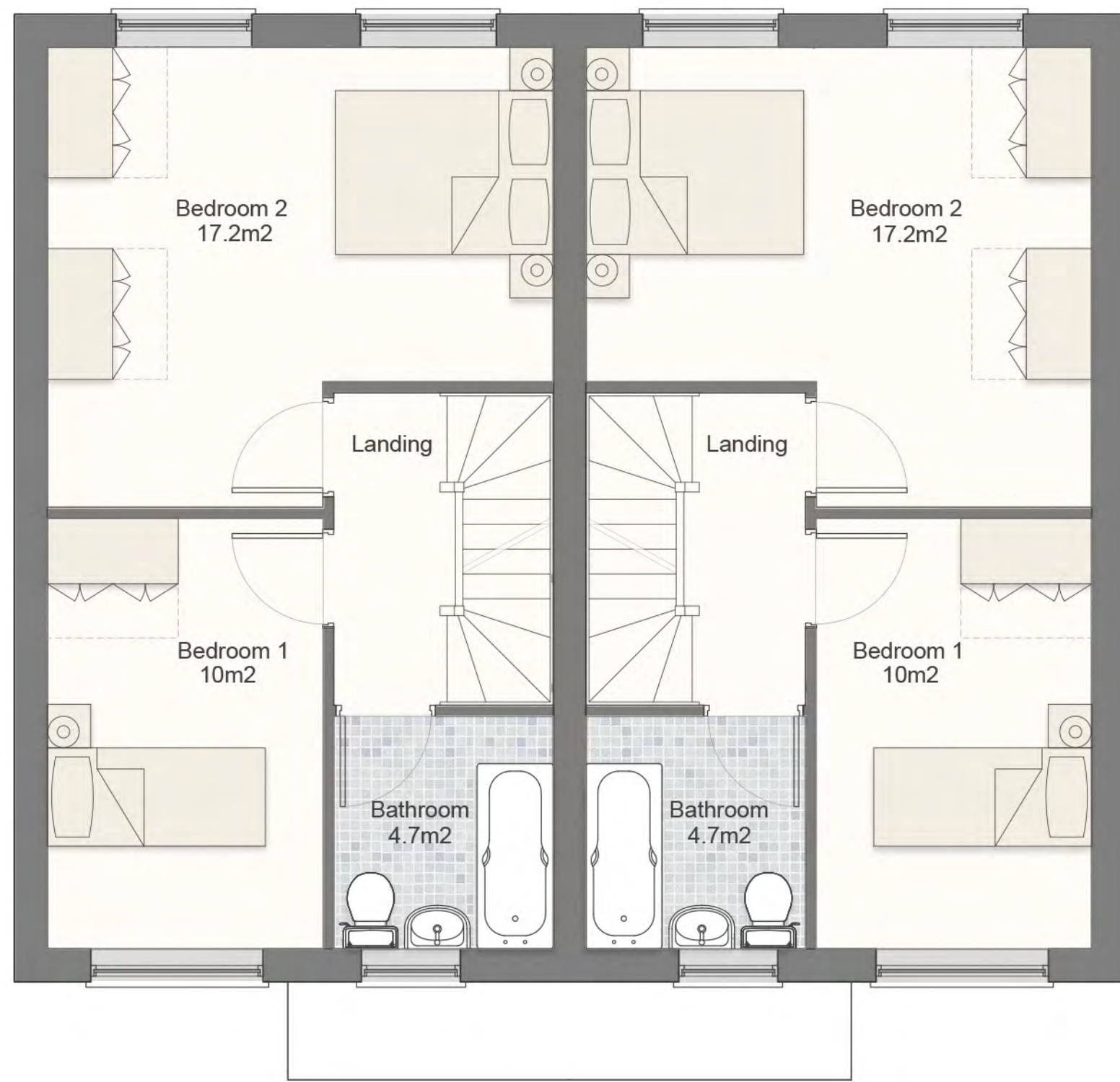
Rear Elevation



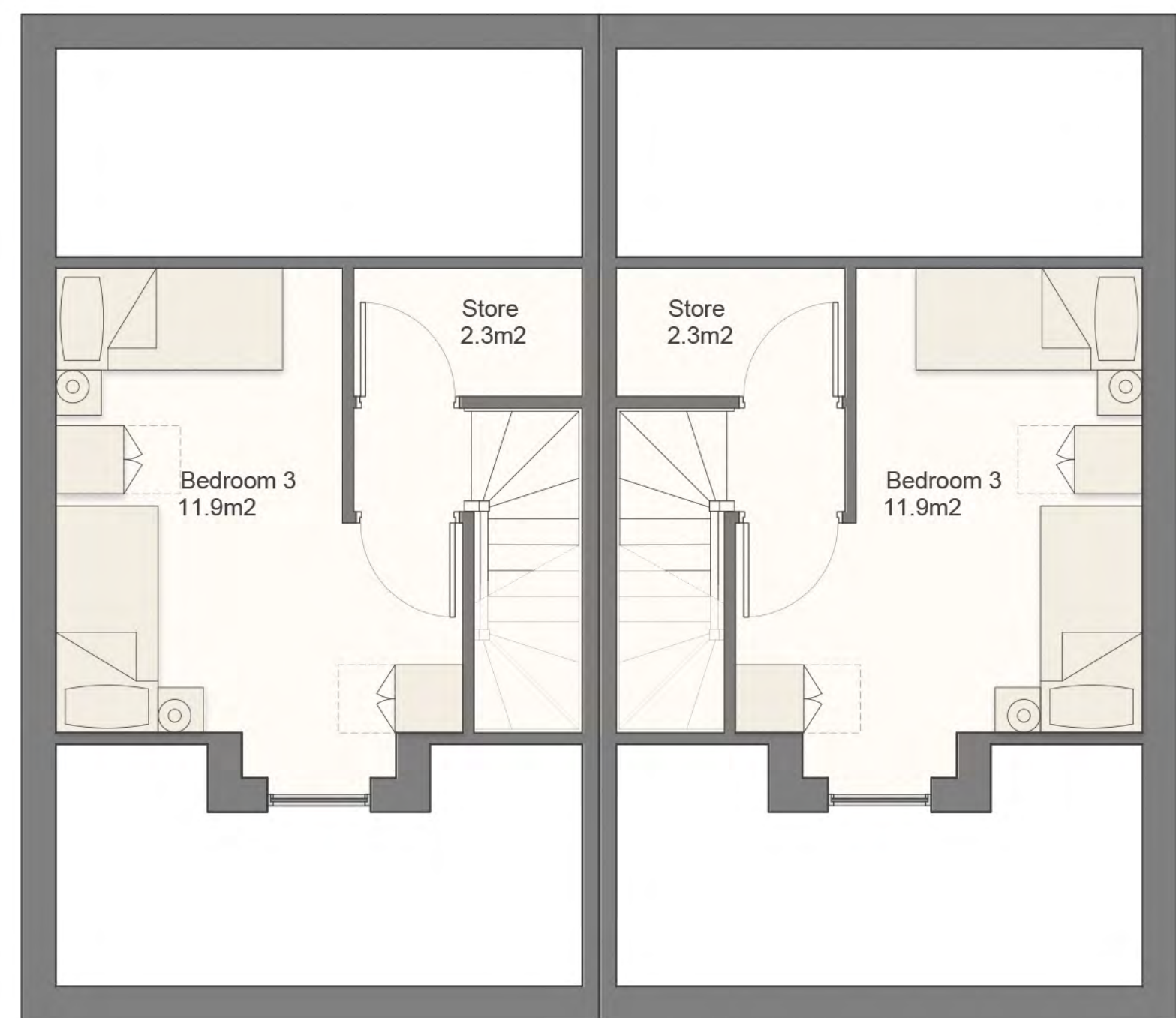
Side Elevation



Ground Floor General Arrangement Plan



First Floor General Arrangement Plan



Second Floor General Arrangement Plan

3 Bed Semi-Detached House
66sqm (1066sqft)

C	Layout amended to meet 100% NDSS	18.07.22	ABH
B	Planning Issue	28.10.21	SK
A	Windows and materials amended.	12.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

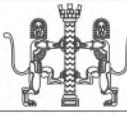
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Client:	Anwyl Partnerships		
Project:	Sydney Road, Crewe		
Project Status:	PL - Planning		
Scale:	@ original size	Date:	Drawn by:
1:50	A1	Oct 2021	SK
			Checked by:
			KOR
Project Number	Drawing Number		
1231	A	DR	205
Description	3B Semi-Detached House		
General Arrangement Plans & Elevations			Rev
			C

Scale 1:50



Notes

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MATERIAL SPECIFICATION

- 1. Roof Tile
- 2. Continuous Dry Verge
- 3. UPVC Gutter & Downpipe
- 4. UPVC Windows
- 5. Red Facing Brickwork
- 6. Soldier Course
- 7. Contrasting Buff Facing Brick
- 8. Composite Entrance Door
- 9. Red Engineering Brickwork
- 10. UPVC Doors



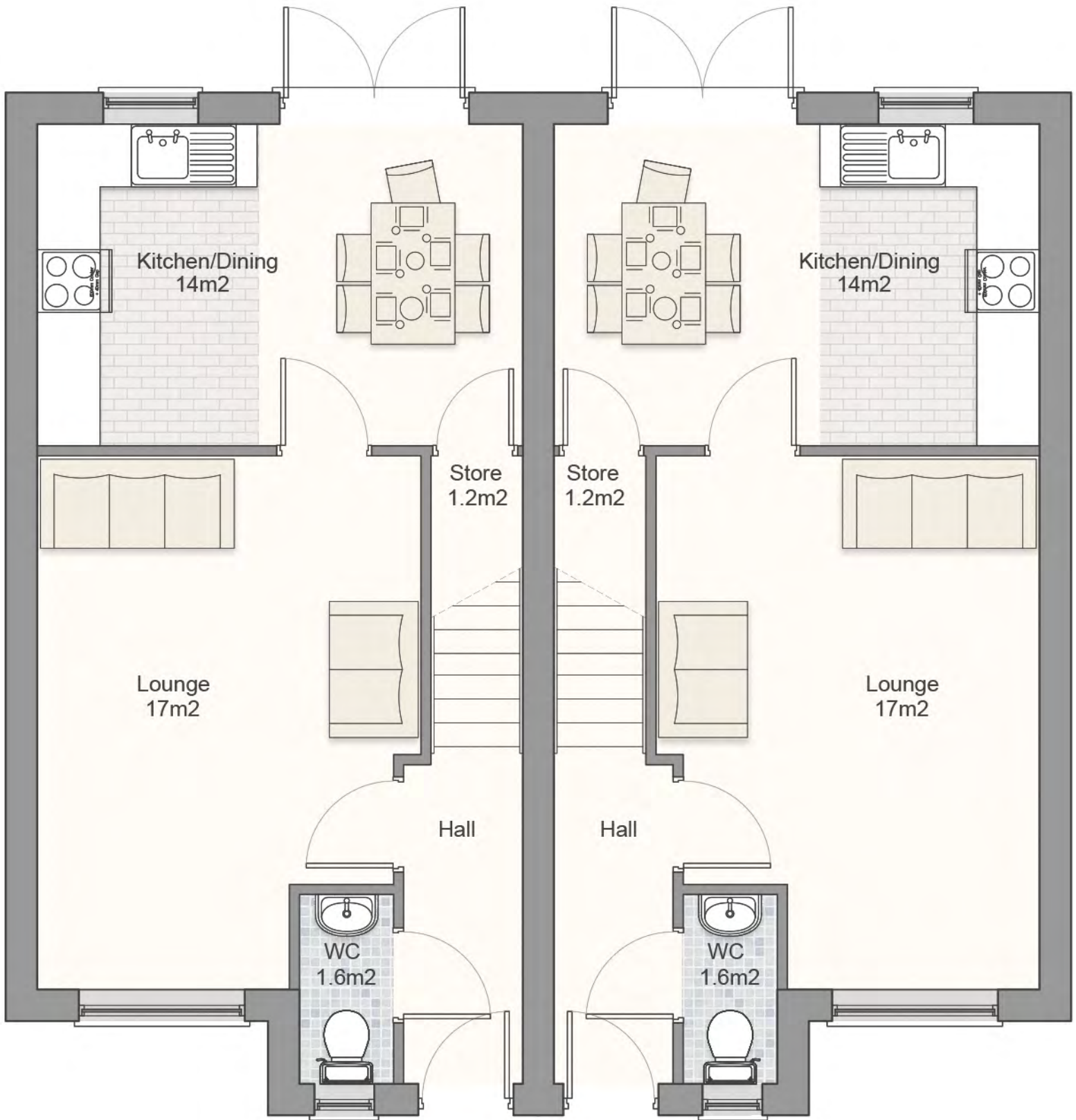
Front Elevation



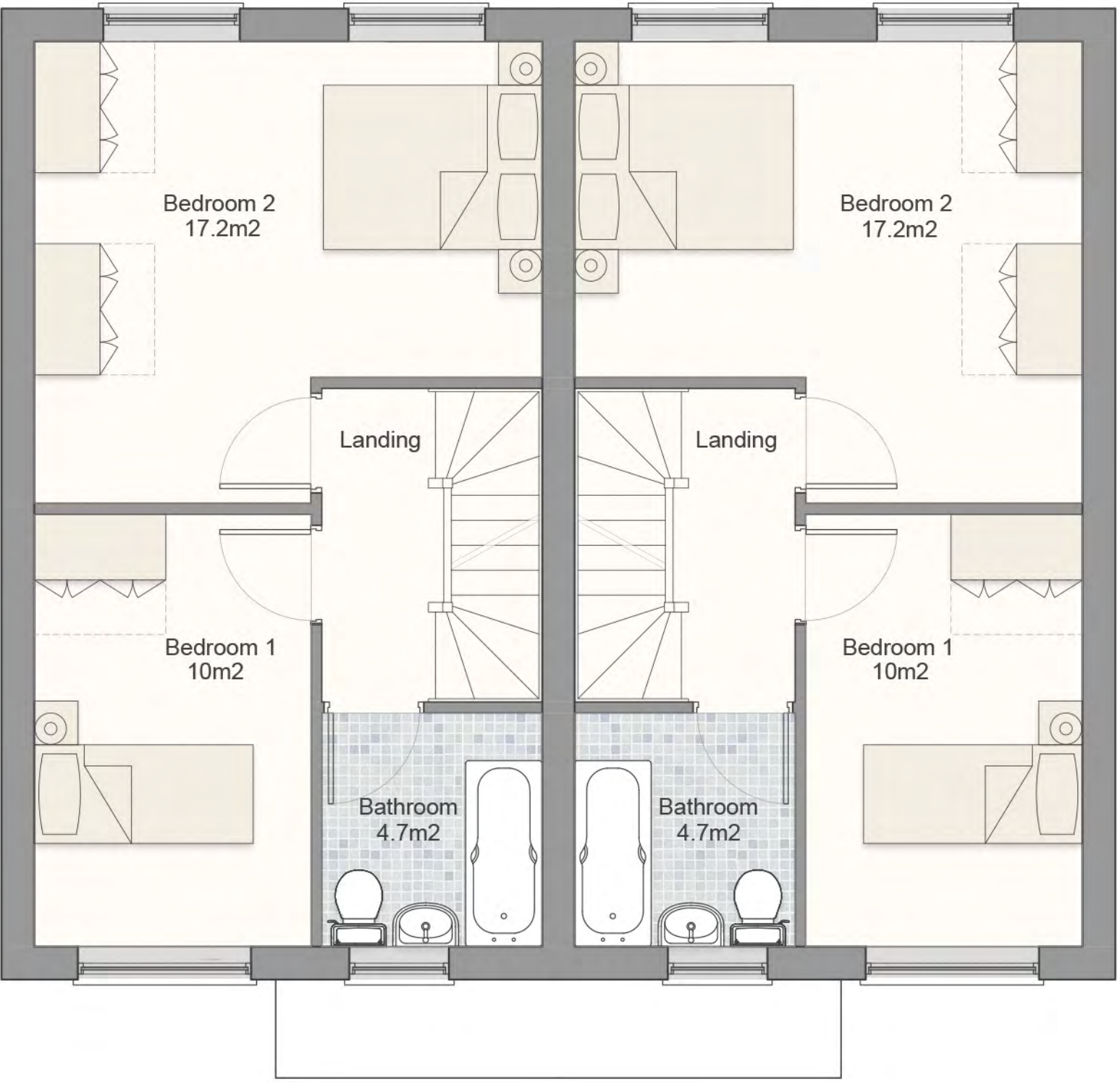
Rear Elevation



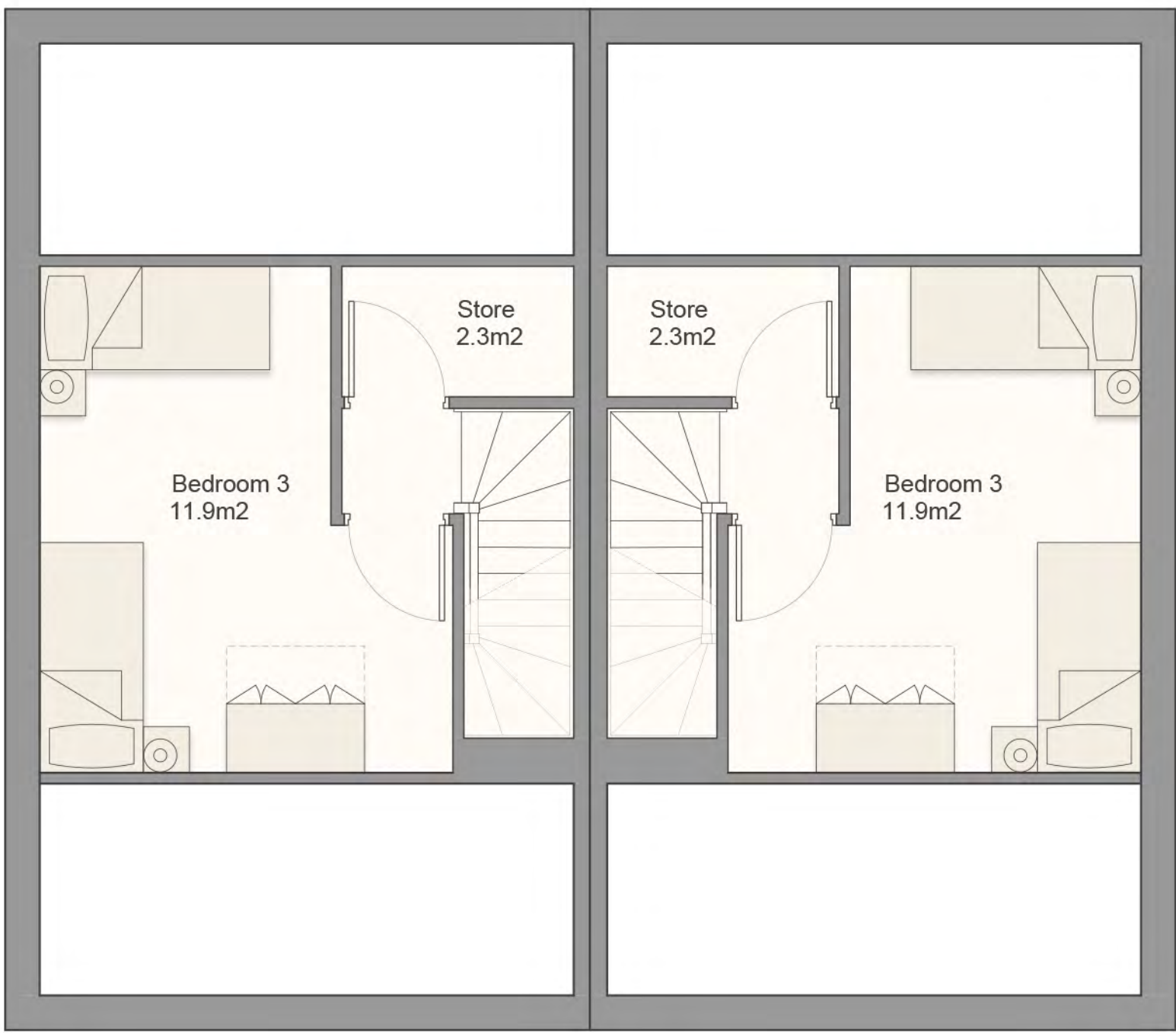
Side Elevation



Ground Floor General Arrangement Plan



First Floor General Arrangement Plan



Second Floor General Arrangement Plan

B	Layout amended to meet 100% NDSS	18.07.22	ABH
A	Planning Issue	28.10.21	SK
-	Initial Issue	08.10.21	SK
Rev	Description	Date	By

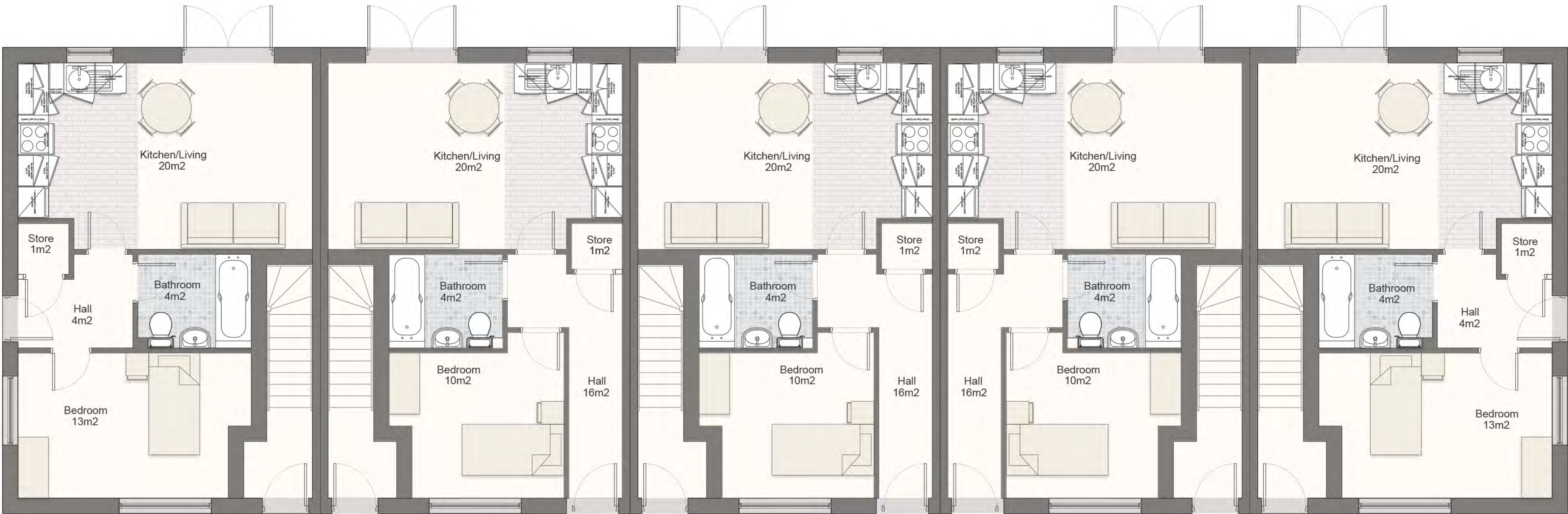
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Client:	Anwyl Partnerships		
Project:	Sydney Road, Crewe		
Project Status:	PL - Planning		
Scale:	@ original size	Date:	Drawn by:
1:50	A1	Oct 2021	SK
			Checked By:
			KOR
Project Number	Drawing Number		
1231	A	DR	205
Description	3B Semi-Detached House		
General Arrangement Plans & Elevations			Rev
			B



First Floor General Arrangement Plan



Ground Floor General Arrangement Plan

1 Bed Walk Up - 10 Unit Terrace
45/51sqm (484/549sqft)

B	Layout amended to meet 100% NDSS	12.07.22	ABH
A	Planning Issue	28.10.21	SK
-	Initial Issue	14.10.21	SMH
Rev	Description	Date	By



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Client:	Anwyl Partnerships		
Project:	Sydney Road, Crewe		
Project Status:	PL - Planning		
Scale:	@ original size	Date:	Drawn by:
1:50	A1	October 2021	SK
			KOR
Project Number:	Drawing Number:		
1231	A	DR	208
Description:	Rev		
162P Walk Up Apartment, 10 Unit General Apartment Plans	B		

MATERIAL SPECIFICATION

1. Roof Tile
2. Continuous Dry Verge
3. UPVC Gutter & Downpipe
4. UPVC Windows
5. Red Facing Brickwork
6. Soldier Course
7. Contrasting Buff Facing Brick
8. Composite Entrance Door
9. Red Engineering Brickwork
10. UPVC Doors



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

1 Bed Walk Up - 10 Unit Terrace
45/51sqm (484/549sqft)

Rev	Description	Date	By
A	Planning Issue	28.10.21	SK
-	Initial Issue	13.10.21	SK

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Client	Anvyl Partnerships				
Project	Sydney Road, Crewe				
Project Status	P - Preliminary				
Scale	Original Size	Date	Drawn By	Checked By	
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Description					Rev
162P Walk Up Apartment, 10 Unit					A
General Arrangement Elevations					

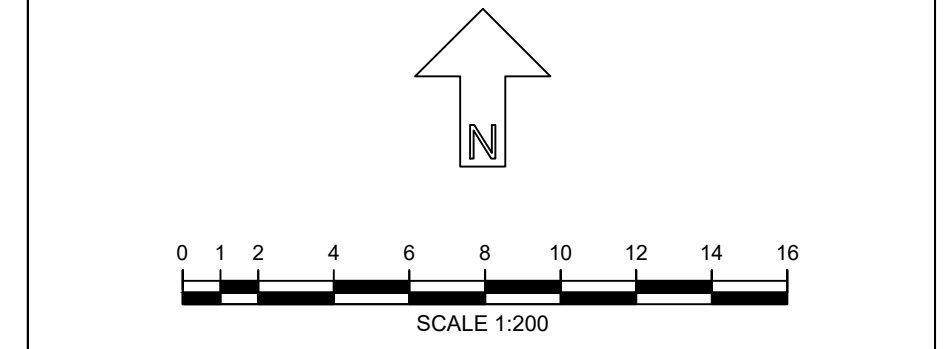


DO NOT SCALE

ALL COORDINATES RELATED TO LOCAL GRID LOCATED TO OS NG BY BEST FIT TO DETAIL, EXTRACTED FROM OS DIGITAL DATA.

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- Landscape Layout Key:**
- Site Boundary
 - Existing trees and hedgerows to be retained and protected during the works.
 - Proposed ornamental planting on 400mm depth of topsoil with 75mm bark mulch.
 - Proposed native tree planting, tree pit and stake as detailed in the specification.
 - Small ornamental tree planting, tree pit and stake as detailed in the specification.
 - Proposed single or mixed native hedgerow planted in a single staggered row at 0.33m centres and 0.3 offset. Bare root transplants, each with a 60cm high Tubex shrub shelter, two cable ties and a timber stake.
 - Proposed single species formal hedge planted in a single row at 0.33 centres (3 no. plants per linear metre). Container transplants.
 - Front gardens to be turfed on 150mm topsoil.
 - Public open space to be sown with Germinall Eco-Species Rich Lawn mix, or similar approved, to be sown at a rate of 10g/m2 on 150mm topsoil.
 - Native scrub planting to be planted as 60-80cm whip planting at 1m centres, for additional wildlife habitat.
- Paving Key:**
- Main roads, private drives and public footpaths including raised feature junctions and ramps/transition strips to be tarmac.
 - Plot driveways and parking spaces- Private driveways and parking spaces in Mona Precast Monopave concrete block paving in 'Brindle', with contrasting blocks in 'Charcoal' to demark parking spaces or similar approved.
 - Private pathways and patios to be Mona Precast Monopave Slab concrete paving slabs in 'Buff' or similar approved.
- Boundary key:**
- 1.8m high screen wall/fence
 - 1.8m timber close boarded fence to side and rear



B	Minor Amendments	01/12/22
A	Minor Amendments	30/11/22
REV	DESCRIPTION	DATE

Ascerta
Landscape | Trees | Ecology

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www.landscapetreeseecology.com

CLIENT:	Amwyll Homes
PROJECT:	Sydney Road, Crewe, CW1 4HG
DRAWING TITLE:	Landscape Layout
SCALE:	1:200 @ A0
DRAWN BY:	RE
CHECKED BY:	CN
DATE:	24/11/2021
DRAWING NO:	P.1332.20.03
REV:	B

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Application No: 23/0727N

Location: LAND ADJACENT To 179, ALTON STREET, CREWE

Proposal: Erection of two sets of two semi-detached properties and a rear extension to no.179 (renewal of planning permission 19/0339N)

Applicant: Mr David Mitchell, Mitchell Homes Ltd

SUMMARY

The application relates to the residential development of land located between 179 and 169 Alton Street. An identical development has previously been approved on the site (19/0339N).

The site lies within settlement boundary of Crewe and the principle of residential development is therefore acceptable.

The development is of acceptable layout and design which respects the character of the locality, in compliance with Policies SE1 of the CELPS, the CEC Design Guide and GEN1 of the SADPD. An acceptable landscaping scheme can be secured through the imposition of a planning condition.

The proposed access points from Alton Street, on-site parking provision and the traffic impact of the scheme are considered to be acceptable in accordance with Policies, CO1 and SE1 of the CELPS . and Policy INF3 of the SADPD.

The development will not have a detrimental impact upon residential amenity and would comply with Policies HOU1, HOU12 and HOU13 of the SADPD.

The development is acceptable in terms of its impact upon ecology, trees and hedgerows in accordance with Policies SE3 and SE5 of the CELPS, and policies ENV3, EN5 and ENV6 of the SADPD.

The drainage/flood risk implications for this proposed development are considered to be acceptable and subject to conditions including levels and details of the drainage strategy. The development would comply with policies SE13 of the CELPS and ENV16 of the SADPD. Issues relating to land contamination can be satisfactorily addressed through planning conditions including the submission of an updated ground gas risk assessment and a remedial strategy for the site.

In conclusion, the proposed represents sustainable development in compliance with the Development Plan as a whole, and is therefore recommended for approval.

SUMMARY RECOMMENDATION

Approve with conditions.

REASON FOR REFERRAL

The application has also been the subject of a call-in request by Cllr Connor Naismith for the following reasons:

The parking provision is below the Cheshire East requirement, and I think there is a strong likelihood this will lead to on-street parking, either from visitors to the properties or from the occupiers themselves. This coupled with the fact that the properties would be situated on a bend presents a risk of road traffic incidents.

I am also concerned about the loss of trees and hedges and the impact this may have on biodiversity/ecology. It is accepted by the Tree survey that several of the trees proposed to be removed are in good condition, but removal is justified on the basis they are of low amenity value. I think this is potentially a subjective view and warrants further scrutiny by committee.

I also noted from the decision report from the 2019 application that there was some concern over the impact on the amenity of 179 and 169 Alton Street but the applicant was going to take some steps to mitigate this. I would want some assurances that the same is true on this occasion.

Finally, I have concerns about access to the site for the purposes of construction of these properties. I am advised by residents that the applicant was reliant on the use of a private unadopted road which runs behind and very close to several of the neighbouring properties on Alton Street. I am concerned about the impact of large construction vehicles, materials etc on resident amenity and the road itself which is the responsibility of frontagers to maintain. The only other access to my knowledge is via Alton Street, which is clearly also inappropriate, being a narrow, heavily used road on a bend.

SITE DESCRIPTION

The application site is located between 179 and 169 Alton Street within the settlement boundary of Crewe. The site itself has been used as a garden in the past with associated structures that have now been removed.

The site slopes steeply down from Alton Street towards Valley Brook to the north.

Existing residential dwellings stand to the south of the site fronting onto Alton Street.

PROPOSAL

This application seeks full planning permission for the erection of two pairs of semi-detached dwellings fronting onto Alton Street.

The proposal also includes a three-storey extension to the rear of number 179 Alton Street which will help to facilitate the main part of the development.

An identical proposal (19/0339N) has previously been approved, although that permission has since lapsed.

RELEVANT HISTORY

19/0339N - Construction of two sets of two semi-detached houses – Approved with conditions 2019

18/3664N - Construction of two sets of two semi-detached houses – Refused 2018

17/5294N – 6 dwellings – Withdrawn 2018

16/4325N - Outline application for residential development on a brownfield site for 7no. town houses in two rows with two parking spaces each – Withdrawn 2016

PLANNING POLICY

Cheshire East Local Plan Strategy (CELPS)

PG.1 - Overall Development Strategy

PG.2 – Settlement Hierarchy

PG.7 - Spatial Distribution of Development

SD.1 - Sustainable Development in Cheshire East

SD.2 - Sustainable Development Principles

IN.1 – Infrastructure

SE.1 – Design

SE.2 - Efficient use of land

SE.3 - Biodiversity and geodiversity

SE.4 - The Landscape

SE.5 - Trees, Hedgerows and Woodland

SE.6 - Green Infrastructure

SE.9 - Energy Efficient Development,

SE.12 - Pollution, Land contamination and land instability

SE.13 - Flood risk and water management

CO.1 - Sustainable Travel and Transport

Site Allocations and Development Policies Document (SADPD)

PG.9 – Settlement Boundaries

GEN.1 – Design Principles

ENV.1 – Ecological Network

ENV.2 – Ecological Implementation

ENV.3 – Landscape Character

ENV.5 – Landscaping

ENV.6 – Trees, Hedgerows and Implementation

ENV.16 – Surface Water Management and Flood Risk

HOU.10 – Backland Development

HOU.11 – Extensions and Alterations

HOU.12 – Amenity

HOU.13 – Residential Standards

HOU.14 – Housing Density

HOU.15 – Housing Delivery
HOU.16 – Small and Medium-sized Sites
INF.3 – Highway Safety and Access

Other Material Considerations

National Planning Policy Framework (2021)
National Planning Practice Guidance
Cheshire East Design Guide

CONSULTATIONS

Highways – No objections

United Utilities - No objections

Environment Agency – No objections

Flood Risk – No objections

Environmental Protection – No objections

REPRESENTATIONS

Neighbour notification letters were sent to all adjacent occupants, a site notice was erected. In response representations have been received from 17 properties to the proposal have been received. A significant number of comments have been received from one address. The concerns raised are summarised below:

- Highway safety and parking
- Sewage/drainage
- Light pollution
- Loss of outlook
- Loss of privacy
- Noise and disturbance
- Contaminated land
- Flooding
- Loss of light to gardens
- No need for the development
- Foundations of adjoining properties
- Access to the site
- Ownership of existing hedge
- Potential closure of Alton Street
- Errors in application documents
- Design
- Use of track to the rear
- Impact of ecology
- Not a sustainable site

- No solar panels proposed
- Over development of the site
- Air quality
- Japanese Knotweed in the area
- Location of existing sewer
- Bin storage

APPRAISAL

Principle of Development

Policy PG.9 of the SADPD states that:

‘Within settlement boundaries, development proposals (including change of use) will be supported where they are in keeping with the scale, role and function of that settlement and do not conflict with any other relevant policy in the local plan’.

The application site is within the Crewe settlement boundary and the principle of development is therefore acceptable .

Following on from the above, Policy HOU.16 of the SADPD also states that:

‘The particular benefits of providing well-designed new homes on small and medium-sized sites, up to 30 homes, will be given positive weight in determining planning applications’.

An identical development has previously been approved on the site (19/0339N) in 2019, however this approval has lapsed.

Notwithstanding the above, the scheme is also aligned with housing delivery policies; PG1, PG2 and PG7 of the CELPS. As such, the principle of erecting dwellings in this location is acceptable subject to the scheme’s adherence with other relevant local plan policies. These detailed issues are considered below.

Design

Policy SE1 (Design) of the CELPS advises that the proposal should achieve a high standard of design and wherever possible, enhance the built environment. It should also respect the pattern, character and form of the surroundings. This policy is supplemented by the Cheshire East Design Guide SPD.

Policy GEN1 of the SADPD requires that developments should create a sense of place, manage design quality, provide sustainable urban, architectural and landscape design and provide safety, inclusivity and accessibility.

A row of terraced dwellings lies to the west of the application site while to the east is a two-storey detached property. The application site is a small gap in between this existing development. Directly opposite the application site to the south are two modern detached

bungalows, further along to the west of this side of Alton Street are older semi-detached dwellings.

The four dwellings are proposed to front on to Alton Street are two storey to the front elevation and three storey to the rear having taking into account the natural slope of the site and closely resembling the existing properties to either side in terms of height, bulk scale and mass. Furthermore, details such as fenestration also pays close attention to those either side of the application site.

In comparison to the surrounding prevailing character, the proposed dwellings are considered to be sympathetic and in terms of scale, height, bulk and mass when viewed in context of the existing residential development to the north side of Alton Street.

The submitted information has indicated that the proposed dwelling will match the adjacent properties in terms of finishing materials. However a condition is recommended requiring full details of materials to be submitted and approved,

It is therefore considered that scheme respects its surroundings, and its styling and design satisfactorily respect the local context and character of the site.

The submitted plans show each of the proposed dwellings with substantially sized garden which take up the rest of the site until they reach an 8-metre buffer zone at the top of Valley Brook. There is an indication of the proposed boundary treatments. However, conditions will be attached requiring submission of final details should permission be granted.

Overall, the design of the proposed development is considered to be of a size, scale and design that is respectful and appropriate to the character of existing residential development in the locality. Given this, it is considered that there will not be any significant visual impact on the street scene of Alton Street. As such, the proposal is considered to adhere with the objectives of Policy SE1 of the CELPS and Policy GEN1 of the SADPD.

Highway Safety / Access / Parking

The Council's Highway Officer considers that this proposal reflects the previous approval on this site and since there have been no changes to highway related policy or guidance, and the proposal is therefore acceptable.

Although proposed parking provision is below CEC requirements, the Highway Officer considers that the site is sustainably located close to local services and facilities. It is also advised that car ownership in the area shows that the majority of properties own a single car only.

The Highway Officer advises that the use of the proposed driveway accesses on Alton Street will have sufficient visibility of oncoming traffic. Furthermore whilst cars would have to reverse in/out of the driveways, this is also the case with other similar properties including those on the other side of the road which have less visibility. There have also been no recorded traffic accidents in the vicinity of the site over the last 5 years.

The Council's Highway Officer considers that proposed access and parking arrangements are acceptable, and no objection is raised. As such, the proposal is in accordance with Policy INF3 of the SADPD.

Residential Amenity

Policy HOU.11 of the SADPD states that extensions or alterations to existing dwellings should “not cause unacceptable harm to the amenity of nearby occupiers or the future occupiers of the dwelling, with Policy HOU 12 'Amenity'.

Policy HOU 12 of the SADPD requires that new development should not be permitted if it is deemed to cause unacceptable harm upon neighbouring amenity such as from overlooking, visual intrusion or noise and disturbance. In addition, Policy HOU13 of the SADPD identifies the following separation distances;

- 21 metres for typical rear separation distance (24m plus 2.5m per additional storey)
- 18 metres for typical frontage separation distance (20m for three-storey buildings)
- 14 metres for a habitable room facing a non-habitable room (the addition of 2.5m per additional storey).

The closest neighbouring properties to the application site are those to the south of the site fronting onto Alton Street.

The four proposed dwellings will sit in a gap between 179 and 169 Alton Street. Both neighbouring dwellings to either side of the site have blank side elevations facing the proposal site, as such there will be no adverse impact on amenity from this perspective.

Given the position of the dwelling of on Plot 1 there will be a breach of the 45-degree code when applied to the rear principal windows of number 179. However this property is also in the ownership of the applicant and forms part of the proposed development site and involves a three storey rear exte. on to this dwelling. The siting of the proposed extension will effectively mitigate the potential loss of amenity to No.179 from Plot 1 A condition is therefore recommended to ensure the extension is constructed prior to the occupation of the four dwellings.

Furthermore the siting of the rear extension will occupy a recess located between the rear elevation and existing 3-storey outrigger of No.179, ensuring there will not be an adverse impact on the residential amenities of the adjoining terraced property at No.177 Alton Street.

To the east side of the site is the detached dwelling of number 169. The rear elevation of the proposed dwelling of Plot 4 has been staggered so as not to result in any loss of outlook to the rear principal windows of number 169.

In terms of loss of outlook from neighbouring properties on the opposite side of the road there is a separation distance of over the recommended 21 metres. This meets the recommended separation distances of Policy HOU.13 of the SADPD.

It is accepted that the rear windows of the proposed dwellings will allow views over the rear gardens of other properties along Alton Street. However, this is the same situation as with the existing dwellings, therefore it would not be difficult to justify or sustain a refusal on these grounds.

With regard to the dwellings on the opposite side of Alton Street issues regarding headlights of cars turning and parking have been raised. This is a situation which can commonly be found on

residential streets and would only occur for a short period of time as a vehicle was manoeuvring. Furthermore, this situation already occurs along Alton Street.

In terms of the amenity of the future occupiers of the proposed dwellings, sufficient space would be available for each dwelling to have sufficient outdoor private amenity to perform normal tasks such as hang out washing, sit outside etc.

It is therefore considered that the relationship between the proposed development and nearby dwellings is acceptable in terms of amenity impact. The proposal therefore complies with Policies HOU11 HOU12 and HOU13 of the SADPD.

Landscape and Trees

The application site is found in an existing predominantly residential area within the settlement boundary of Crewe and effectively forms a former garden which has been cleared of most vegetation, there are lengths of hedge and several trees on site and off site to the west.

The scheme would result in the loss of some trees in the body of the site and the roadside hedge. None of the trees are exceptional nor protected by any Tree Preservation Order, in any event these trees could be removed without permission whether there was an application or not.

An aboricultural survey has been submitted in support of the application which has highlighted three trees for removal with protection measures being recommended for the remaining trees around the site. Notwithstanding this, a condition will be attached to any permission requiring details of tree and hedge protection measures to be submitted.

In terms of the overall landscaping of site, a comprehensive hard and soft landscaping scheme and implementation will be secured by planning conditions.

Overall, it is considered that the proposed development will not pose any significant landscape or aboricultural issues. As such the application proposal is therefore considered to adhere with Policy SE5 of the CELPS and policies EN5 and ENV6 of the SADPD.

Ecology

The application is supported by an ecology assessment updated from the previous application

Valley Brook and woodland habitat

It is acknowledged that while the proposed development site is identified on the natural inventory as priority woodland it does not contain woodland habitat.

Breeding Birds

If planning consent is granted a standard conditions to protect breeding birds will be attached.

Ecological Mitigation and Enhancement

Policy SE.3 of the CELPS requires all developments to aim to positively contribute to the conservation of biodiversity. This application provides an opportunity to incorporate features to increase the biodiversity value of the final development in accordance with this policy. A revised landscaping plan has been submitted which includes provisions for birds, bats and hedgehogs. The Council's Ecologist recommends that if planning permission is granted a condition should be attached requiring adherence to the plan.

Wildlife sensitive lighting

In accordance with the BCT Guidance Note 08/18 (Bats and Artificial Lighting in the UK), the applicant has submitted a lighting scheme (ASK, 1261 28 Rev B) which considers illuminance (lux) and includes dark areas, avoids light spill upon bat roost features, bat commuting and foraging habitat (boundary hedgerows, trees, watercourses etc.) and aims for a maximum of 1lux light spill on those features.

The Council's Ecologist considers the above to be acceptable and recommends a condition requiring adherence to this be attached to any planning permission.

Ecology conclusion

Subject to the above recommended conditions, it is considered that the proposal would adhere with Policies SE.3 of the CELPS and ENV.3 of the SADPD.

Flood Risk and Drainage

A large part of the application site lies within Flood Zone 3, and this will encompass the proposed lower rear garden areas. However, given the levels of the site, which significantly increase towards Alton Street, the proposed dwellings themselves and their immediate rear amenity space will lie within Flood Zone 1 which has less than 1 in 1000 annual probability of flooding and consequently residential use is appropriate in this location.

The application has been supported with the submission of a SuDS maintenance plan, a drainage layout evidenced with the appropriate hydraulic and drainage calculations. These have been reviewed by the Environmental Agency and the Council's Flood Risk Team. The proposed dwellings are to have basements with a floor level of 42.035 m AOD. This is above the modelled 1 in 100 years fluvial flood level in Valley Brook.

The Environment Agency have raised no objection to the principle of the proposed development subject to a condition requiring the development to be implemented in accordance with the proposed floor levels set out above.

The Council's Flood Risk Team has also raised no objections to the proposed development subject to conditions being attached. The issues surrounding flooding and drainage relating to the proposed development of the site were also fully addressed during the consideration of the previous application and subsequent discharge of conditions. A condition is recommended requiring the submission and approval of details of the surface water drainage strategy

United Utilities have also reviewed the application and advised that they have no objections subject to a number of conditions including; that foul and surface water be drained on separate systems; the prior submission/approval of a sustainable drainage management and maintenance plan and compliance with the submitted Drainage Design.

As such, subject to the recommended conditions, it is considered that the proposed development would adhere with Policy SE.13 of the CELPS and ENV16 of the SADPD.

Contamination

The Council's Environmental Protection Officer is aware that burning of organics/plastics has previously occurred on the site and remnants of the bonfire may pose localised contamination risks. Further to this, anecdotal information available for the site indicates asbestos may be buried on the site, it is advised that this is investigated further.

Following on from the above, a Geo-Environmental report (dated February 2023) has been submitted in support of the application. The Environmental Protection Officer had various queries regarding the previous issue of the report which were resolved under application 21/5193D (discharge of conditions of previous permission 19/0339N), however part of the resolution was a standalone ground gas risk assessment document. As the report currently submitted describes the results of only one ground gas monitoring round with further monitoring outstanding, further information should be provided with regards to ground gas.

The first paragraph of Section 7.5 of the report does not correspond with the rest of the report, however it is expected this is a typographical error. The report describes elsewhere that topsoil materials have not been found suitable for reuse within the development.

The Council's Environmental Protection Officer has no objections to the proposed development subject to a number of conditions including the submission of an updated ground gas risk assessment and a remedial strategy for the site.

Other Matters

Several other issues have been raised by occupiers of neighbouring properties including: no need for the development, foundations of adjoining properties, ownership of existing hedge, potential closure of Alton Street, use of track to the rear, Japanese Knotweed in the area and location of existing sewer. However, these are not considered to be material planning considerations.

CONCLUSIONS AND REASON(S) FOR THE DECISION

The site lies within the settlement boundary for Crewe and the principle of residential development on the site is therefore acceptable.

The proposed development is of acceptable layout and design which respects the character of the locality, in compliance with Policies SE1 of the CELPS, the CEC Design Guide and GEN1 of the SADPD. An acceptable landscaping scheme can be secured through the imposition of a planning condition.

The proposed access points, on-site parking provision and the traffic impact of the scheme are considered to be acceptable in accordance with Policies, CO1 and SE1 of the CELPS . and Policy INF3 of the SADPD.

The development will not have a detrimental impact upon residential amenity and would comply with Policies HOU1, HOU12 and HOU13 of the SADPD.

The development is acceptable in terms of its impact upon ecology, trees and hedgerows in accordance with Policies SE3 and SE5 of the CELPS, and policies ENV3, EN5 and ENV6 of the SADPD.

The drainage/flood risk implications for this proposed development are considered to be acceptable and subject to conditions including details of the drainage strategy and floor levels. The development would comply with policies SE13 of the CELPS and ENV16 of the SADPD. Issues relating to land contamination can be satisfactorily addressed through planning conditions including the submission of an updated ground gas risk assessment and a remedial strategy for the site.

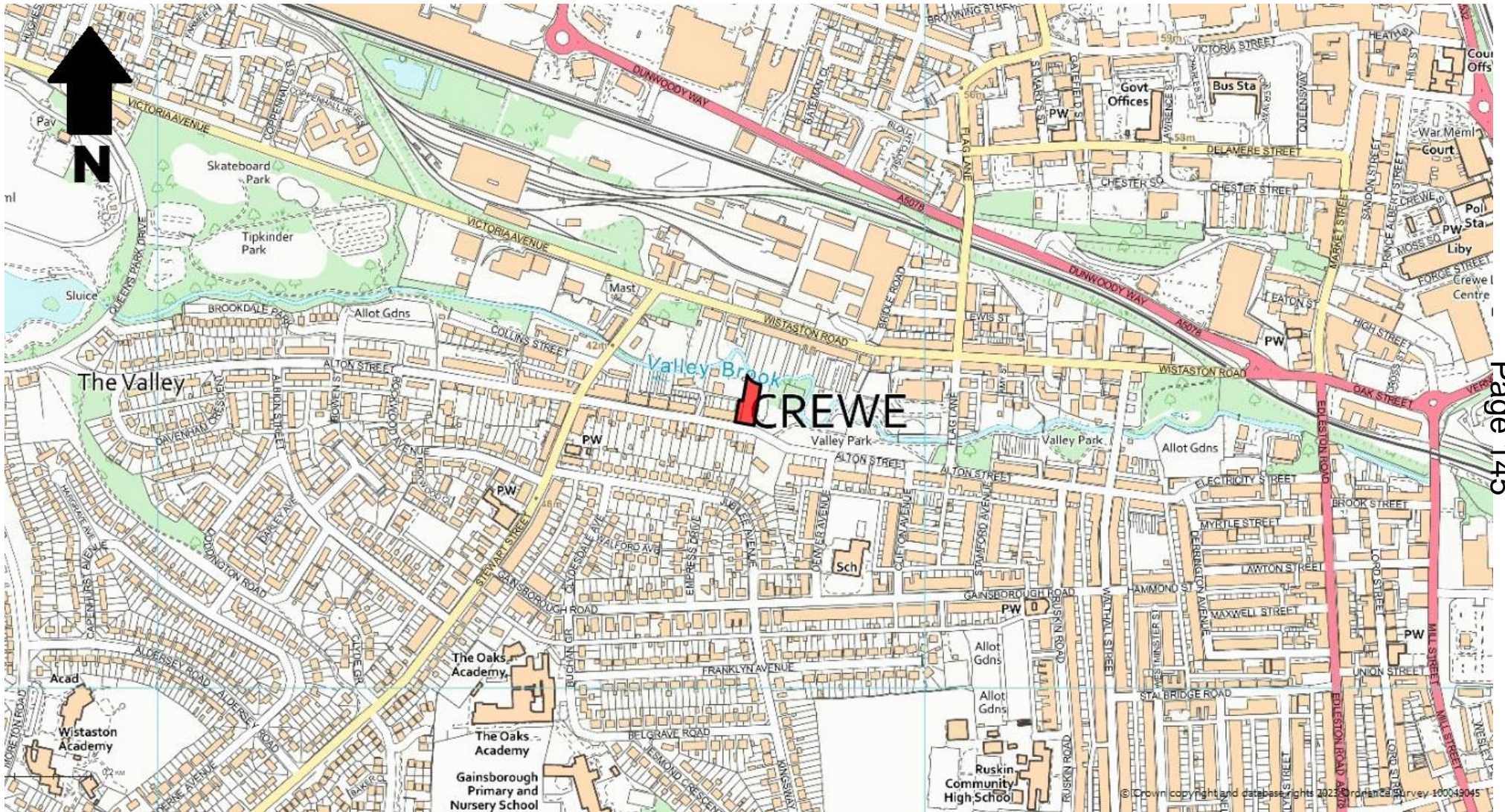
In conclusion, the proposed represents sustainable development in compliance with the Development Plan as a whole , and is therefore recommended for approval.

RECOMMENDATION

APPROVE subject to the following conditions;

- 1. Standard**
- 2. Approved plans**
- 3. Materials as submitted**
- 4. Submission of landscaping scheme**
- 5. Landscape implementation**
- 6. Submission of boundary treatments**
- 7. Removal of PD rights (Part 1 Classes A, B, C and E)**
- 8. Provision of 8m buffer zone at top of Valley Brook**
- 9. Provision of EV charging points**
- 10. Proposed extension to 179 Alton Street to be completed prior to first occupation of proposed dwellings**
- 11. No removal of vegetation between 1st March and 31st August**
- 12. Implementation of ecological enhancement measures as submitted**
- 13. Adherence to submitted lighting scheme**
- 14. Finished floor levels**
- 15. Drainage in accordance with submitted details**
- 16. Submission of sustainable drainage management plan**
- 17. Contaminated land - Submission and approval of updated Phase II ground investigation and risk assessment**
- 18. Contaminated land submission and approval a Verification Report**
- 19. Contaminated land – soil testing**
- 20. Measures to deal with unexpected contamination**

In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning, in consultation with the Chair (or in their absence the Vice Chair) of Southern Planning Committee, to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.



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23/0727N

LAND ADJACENT TO 179,
ALTON STREET,
CREWE



355400m

355300m

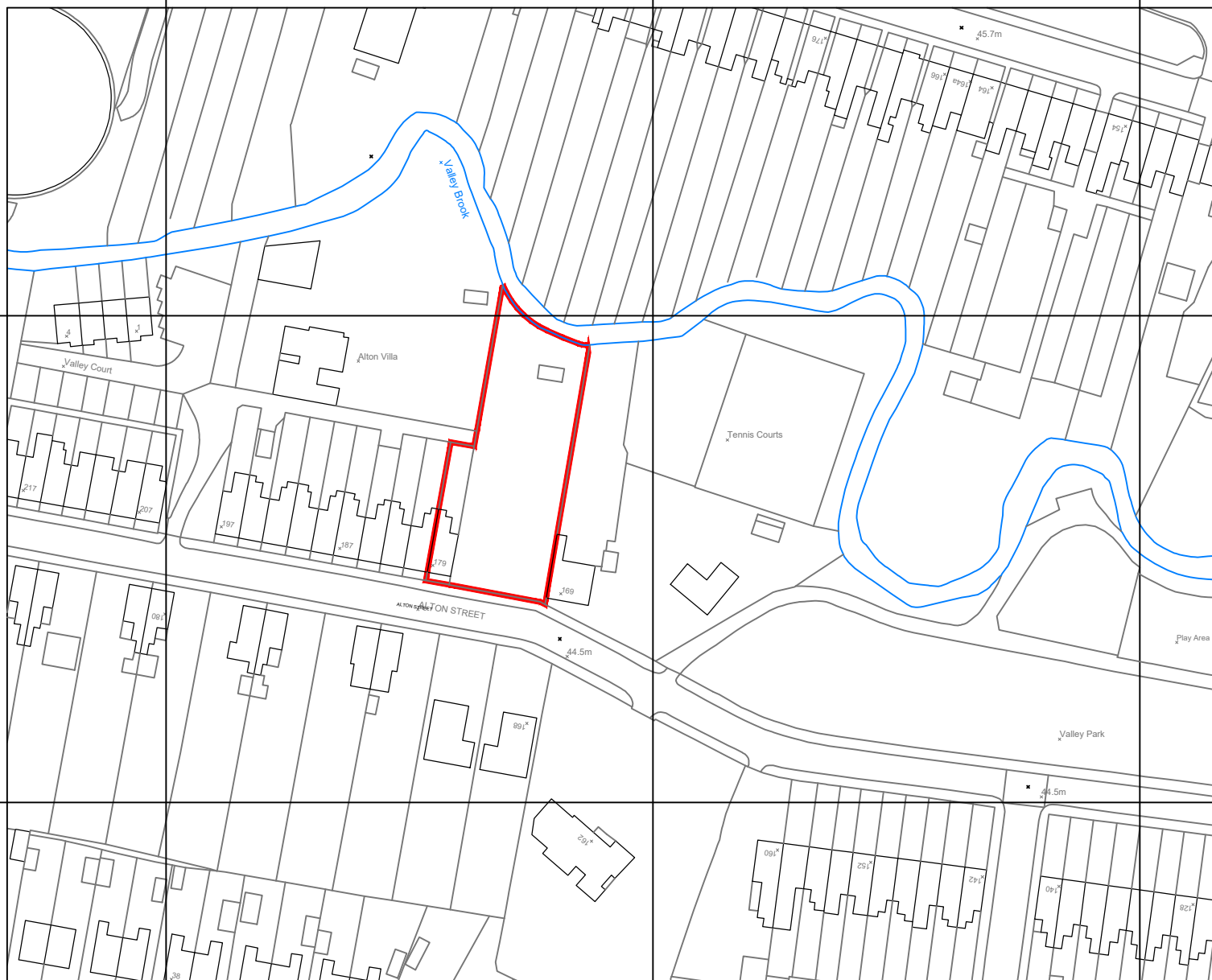
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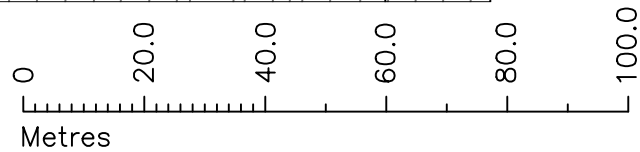
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A 28/09/2018 Drawn: CDR Check: -
Revised following scheme change.

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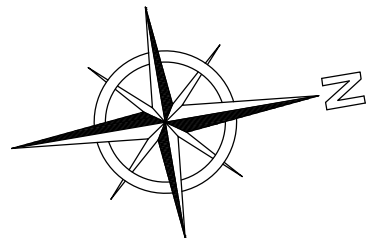
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PROJECT
Residential Development,
Alton Street,
Crewe, CW2 7RS

DRAWING
OS Location Plan

SCALE DATE
1:1250 @ A4 17/07/2018

REF	NUMBER	REV
1261	11	A



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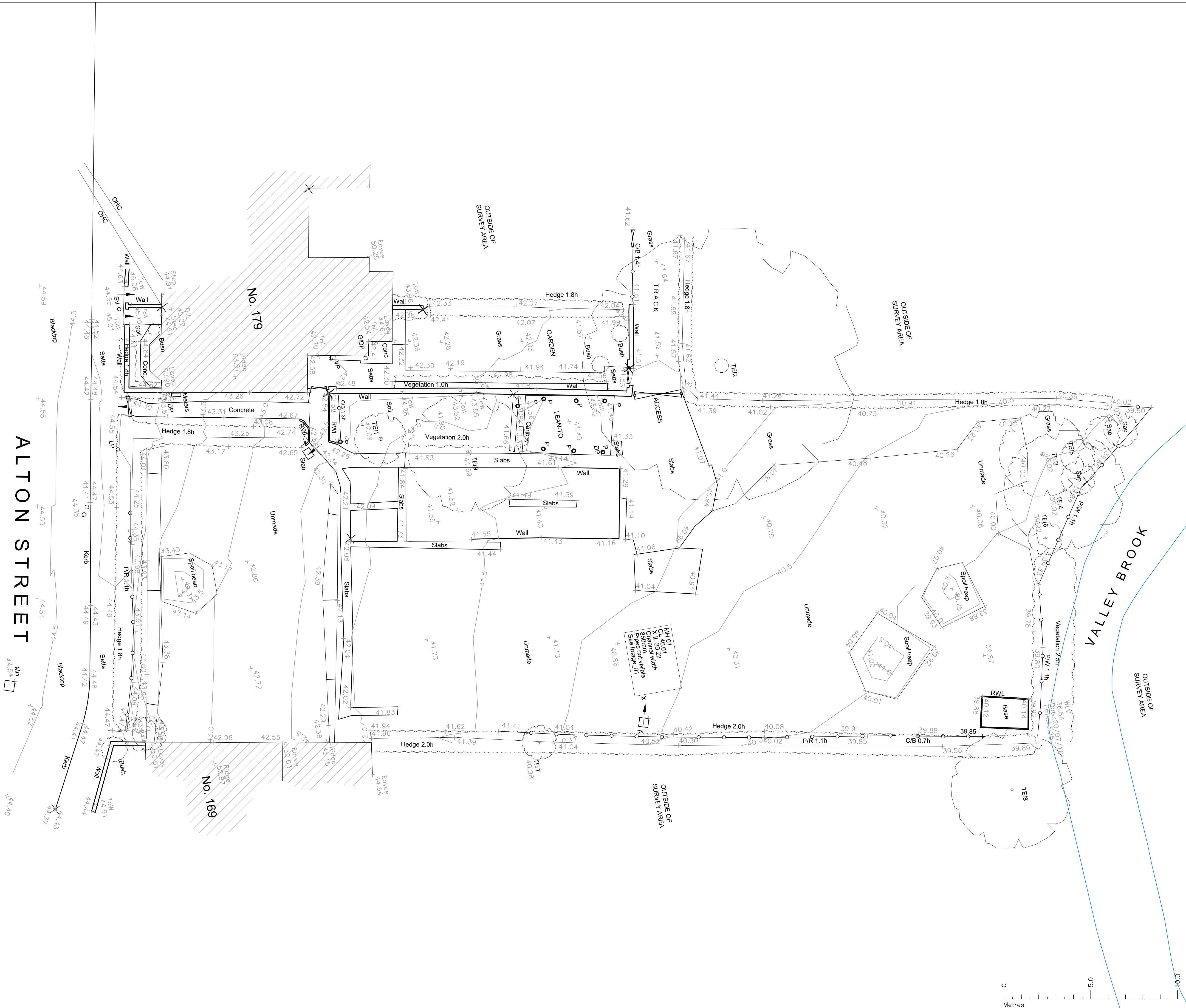
A 16/08/2018 Drawn: CDR Check: -
Existing levels added.

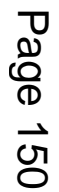
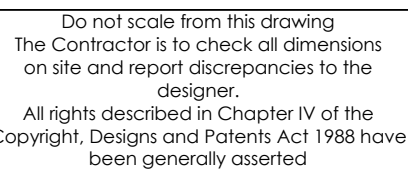


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PROJECT
Proposed Residential
Development, Alton Street
Crewe, CW2 7PU
DRAWING

Existing Site Plan

SCALE		DATE	
1:100		16/07/2018	
REF	NUMBER	REV	
1261	13	A	

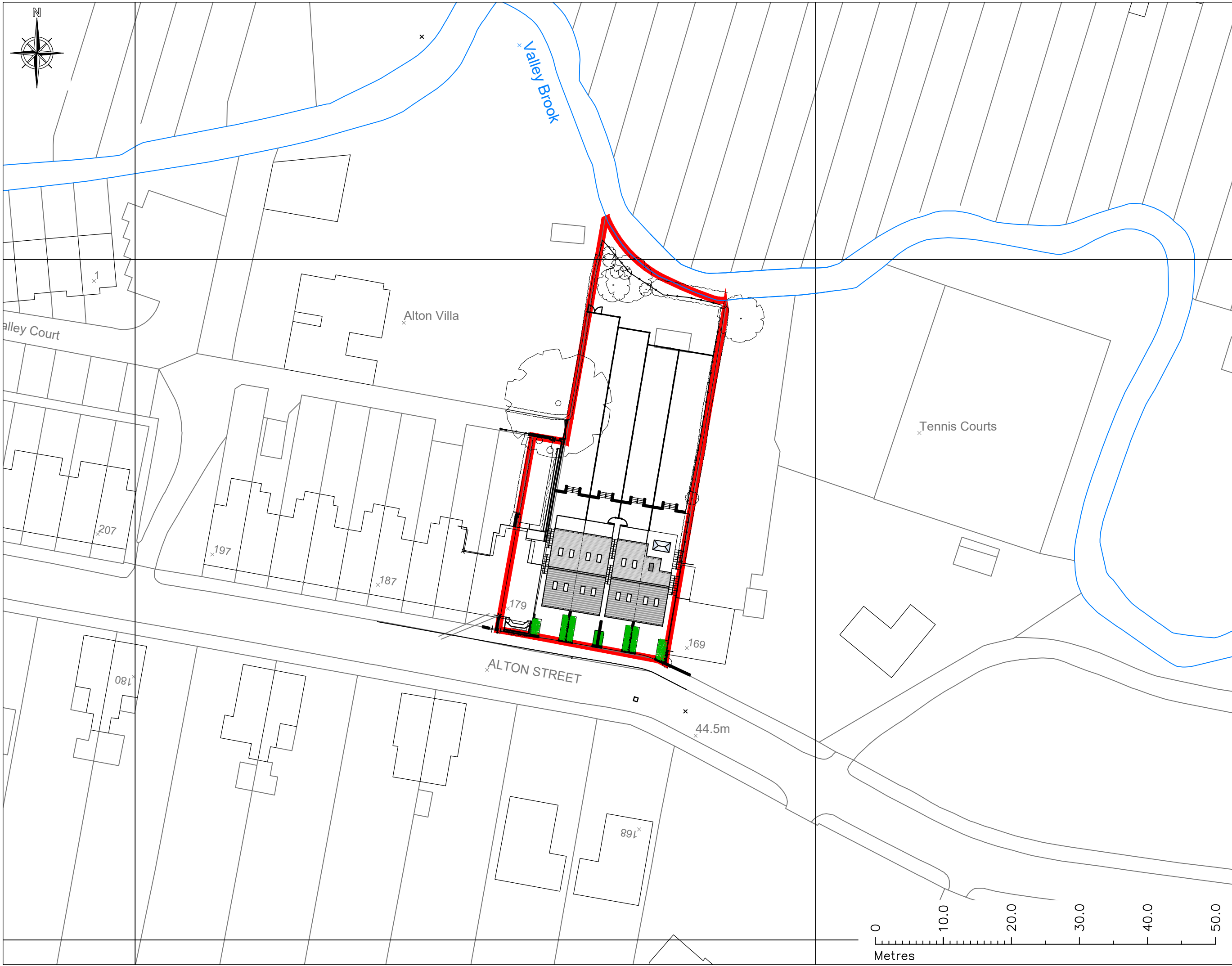




F	20/02/2023	Drawn: RE	Check: -
Bumper Zone hatch added. EVCZ added			
E	14/11/2018	Drawn: PJA	Check: -
Hedge height reduced to frontage.			
D	29/10/2018	Drawn: CDR	Check: -
Revisions following meeting with Local Authority Planners.			
C	28/09/2018	Drawn: CDR	Check: -
Rear extension shown to No179.			
B	14/09/2018	Drawn: CDR	Check: -
Proposed scheme revised to 3no three bedroom semi detached and 1no two bedroom semi.			
A	16/08/2018	Drawn: CDR	Check: -
Bins relocated. Additional low boundary walls and gates added. Roof windows repositioned. Driveway dimensions added.			

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DRAWN : CDR		CHECK : -
PROJECT		
Proposed Residential Development, Alton Street Crewe, CW2 7PU		
DRAWING		
Proposed Site Plan		
SCALE		DATE
1:100@A1		16/07/2018
REF	NUMBER	REV
1261	14	F



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A | 28/09/2018 | Drawn: CDR | Check: -
Revised following scheme change.

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DRAWN : CDR | CHECK : -

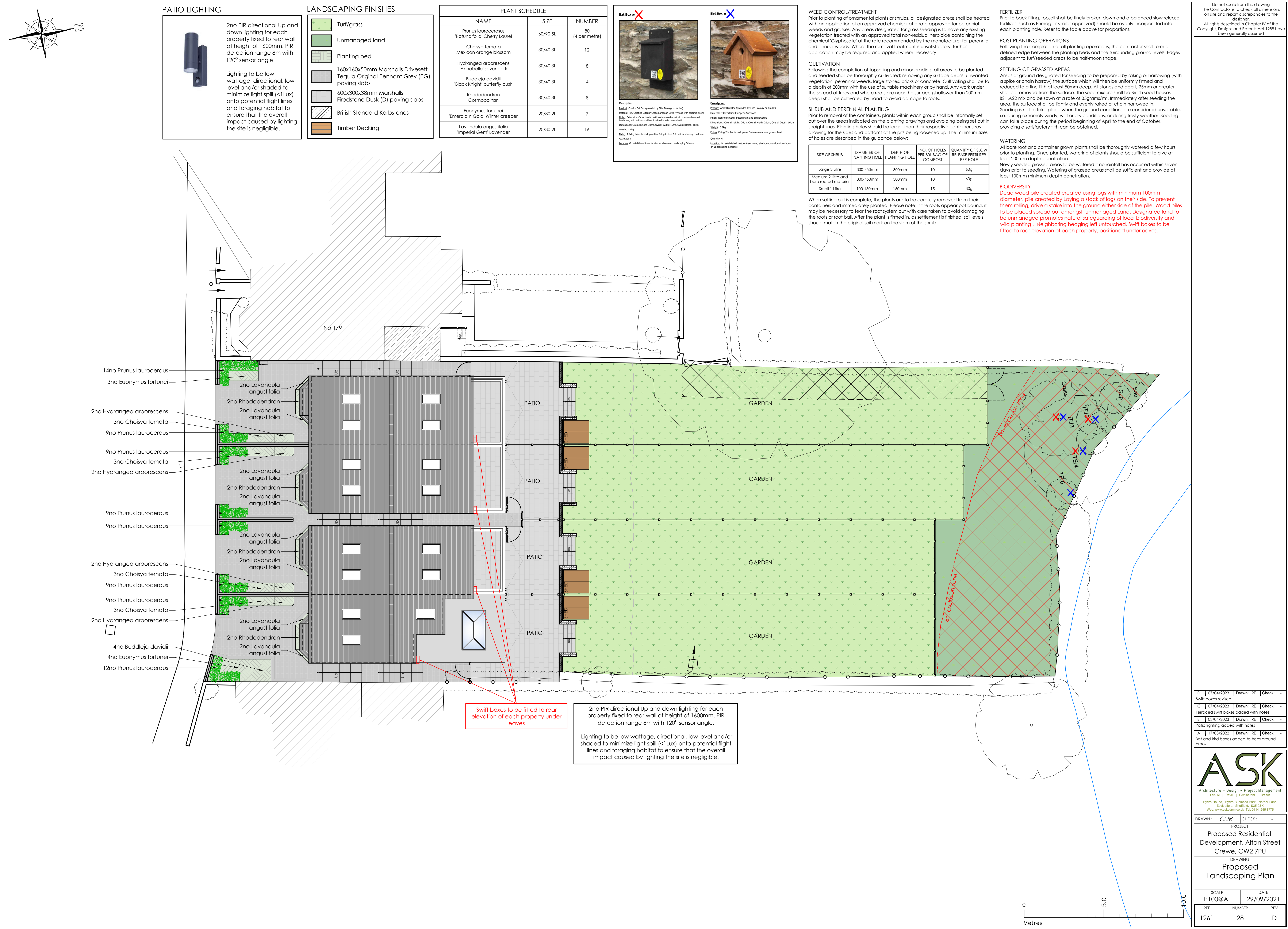
PROJECT
Residential Development
Alton Street,
Crewe, CW2 7RS

DRAWING
OS Block Plan

SCALE
1:500 @ A3

DATE
17/07/2018

REF	NUMBER	REV
1261	12	A



PATIO LIGHTING



2no PIR directional Up and down lighting for each property fixed to rear wall at height of 1600mm. PIR detection range 8m with 120° sensor angle.

Lighting to be low wattage, directional, low level and/or shaded to minimize light spill (<1Lux) onto potential flight lines and foraging habitat to ensure that the overall impact caused by lighting the site is negligible.

LANDSCAPING FINISHES

- Turf/grass
- Unmanaged land
- Planting bed
- 160x160x50mm Marshalls Drivesett
- Tegula Original Pennant Grey (PG) paving slabs
- 600x300x38mm Marshalls Firedstone Dusk (D) paving slabs
- British Standard Kerbstones
- Timber Decking

PLANT SCHEDULE		
NAME	SIZE	NUMBER
Prunus laurocerasus 'Rotundifolia' Cherry Laurel	60/90 5L	80 (4 per metre)
Choisya ternata Mexican orange blossom	30/40 3L	12
Hydrangea arborescens 'Annabelle' sevenbark	30/40 3L	8
Buddleja davidii 'Black Knight' butterfly bush	30/40 3L	4
Rhododendron 'Cosmopolitan'	30/40 3L	8
Euonymus fortunei 'Emerald n Gold' Winter creeper	20/30 2L	7
Lavandula angustifolia 'Imperial Gem' Lavender	20/30 2L	16

Bat Box

Bird Box

Description
[Bat Box]
[Bird Box]

WEED CONTROL/TREATMENT
Prior to planting of ornamental plants or shrubs, all designated areas shall be treated with an application of an approved chemical at a rate approved for perennial weeds and grasses. Any areas designated for grass seeding is to have any existing vegetation treated with an approved total non-residual herbicide containing the chemical 'Glyphosate' at the rate recommended by the manufacturer for perennial and annual weeds. Where the removal treatment is unsatisfactory, further application may be required and applied where necessary.

CULTIVATION
Following the completion of topsoiling and minor grading, all areas to be planted and seeded shall be thoroughly cultivated; removing any surface debris, unwanted vegetation, perennial weeds, large stones, bricks or concrete. Cultivating shall be to a depth of 200mm with the use of suitable machinery or by hand. Any work under the spread of trees and where roots are near the surface (shallower than 200mm deep) shall be cultivated by hand to avoid damage to roots.

SHRUB AND PERENNIAL PLANTING
Prior to removal of the containers, plants within each group shall be informally set out over the areas indicated on the planting drawings and avoiding being set out in straight lines. Planting holes should be larger than their respective container sizes allowing for the sides and bottoms of the pits being loosened up. The minimum sizes of holes are described in the guidance below:

SIZE OF SHRUB	DIAMETER OF PLANTING HOLE	DEPTH OF PLANTING HOLE	NO. OF HOLES PER 80L BAG OF COMPOST	QUANTITY OF SLOW RELEASE FERTILIZER PER HOLE
Large 3 Litre	300-450mm	300mm	10	60g
Medium 2 Litre and bare rooted material	300-450mm	300mm	10	60g
Small 1 Litre	100-150mm	150mm	15	30g

When setting out is complete, the plants are to be carefully removed from their containers and immediately planted. Please note; if the roots appear pot bound, it may be necessary to tear the root system out with care taken to avoid damaging the roots or root ball. After the plant is firmed in, as settlement is finished, soil levels should match the original soil mark on the stem of the shrub.

FERTILIZER
Prior to back filling, topsoil shall be finely broken down and a balanced slow release fertilizer (such as Enmag or similar approved) should be evenly incorporated into each planting hole. Refer to the table above for proportions.

POST PLANTING OPERATIONS
Following the completion of all planting operations, the contractor shall form a defined edge between the planting beds and the surrounding ground levels. Edges adjacent to turf/seeded areas to be half-moon shape.

SEEDING OF GRASSED AREAS
Areas of ground designated for seeding to be prepared by raking or harrowing (with a spike or chain harrow) the surface which will then be uniformly firmed and reduced to a fine tilth at least 50mm deep. All stones and debris 25mm or greater shall be removed from the surface. The seed mixture shall be British seed houses BS1A22 mix and be sown at a rate of 35grams/m². Immediately after seeding the area, the surface shall be lightly and evenly raked or chain harrowed in. Seeding is not to take place when the ground conditions are considered unsuitable, i.e. during extremely windy, wet or dry conditions, or during frosty weather. Seeding can take place during the period beginning of April to the end of October, providing a satisfactory tilth can be obtained.

WATERING
All bare root and container grown plants shall be thoroughly watered a few hours prior to planting. Once planted, watering of plants should be sufficient to give at least 200mm depth penetration. Newly seeded grassed areas to be watered if no rainfall has occurred within seven days prior to seeding. Watering of grassed areas shall be sufficient and provide at least 100mm minimum depth penetration.

BIODIVERSITY
Dead wood pile created created using logs with minimum 100mm diameter, pile created by laying a stack of logs on their side. To prevent them rolling, drive a stake into the ground either side of the pile. Wood piles to be placed spread out amongst unmanaged Land. Designated land to be unmanaged promotes natural safeguarding of local biodiversity and wild planting. Neighboring hedging left untouched. Swift boxes to be fitted to rear elevation of each property, positioned under eaves.

Do not scale from this drawing
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D	07/04/2023	Drawn: RE	Check: -
Swift boxes revised			
C	07/04/2023	Drawn: RE	Check: -
Terraced swift boxes added with notes			
B	03/04/2023	Drawn: RE	Check: -
Patio lighting added with notes			
A	17/03/2022	Drawn: RE	Check: -
Bat and Bird boxes added to trees around brook			

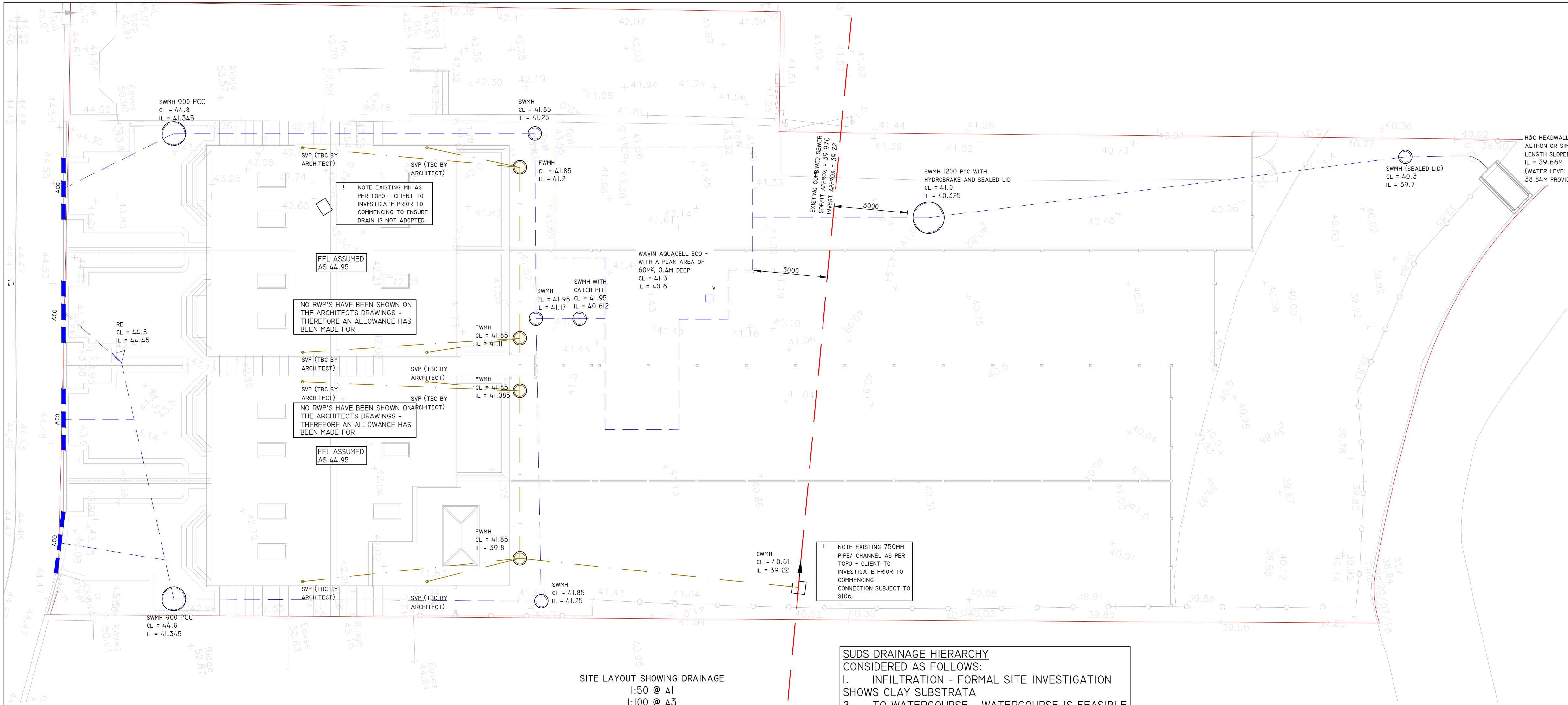
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DRAWN: CDR CHECK: -

PROJECT
Proposed Residential Development, Alton Street Crewe, CW2 7PU

DRAWINGS
Proposed Landscaping Plan

SCALE 1:100@A1	DATE 29/09/2021
REF 1261	NUMBER 28
	REV D



SUDS DRAINAGE HIERARCHY
CONSIDERED AS FOLLOWS:
1. INFILTRATION - FORMAL SITE INVESTIGATION
SHOWS CLAY SUBSTRATA
2. TO WATERCOURSE - WATERCOURSE IS FEASIBLE
(SUBJECT TO INFILTRATION TESTING)

PUBLIC OR PRIVATE UTILITY NOTES

THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO VERIFY LOCATION AND EXTENT OF THEIR APPARATUS AND HAVE IT MARKED OUT ON SITE PRIOR TO COMMENCING ON SITE. DETAILS AND COSTS TO BE PROVIDED BY CONTRACTOR.

TRIAL HOLES SHALL BE UNDERTAKEN BY HAND TO LOCATE ANY BURIED APPARATUS IF EXCAVATION WORKS OR LEVEL REDUCTIONS ARE TO BE UNDERTAKEN IN THE GENERAL AREA.

CONTRACTORS OWN RISK ASSESSMENTS AND SAFE METHODS OF WORKING ADJACENT TO UTILITIES SHALL BE EMPLOYED AT EVERY STAGE OF THE WORK.

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CONTRACTOR SHALL UPDATE THIS PLAN UP WITH SITE INFORMATION WHEN APPARATUS CAN BE ACCURATELY LOCATED ON SITE AND RETURNED TO BELL MUNRO CONSULTING LIMITED FOR THE DRAWING TO BE UPDATED AND RE-ISSUED.

SCHEME SHOWN INDICATIVELY ONLY - FOR TECHNICAL APPROVAL ONLY.

SUBJECT TO AGREEMENT BY THE LOCAL LEAD FLOOD AUTHORITY, ENVIRONMENT AGENCY, LOCAL COUNCIL, UTILITIES COMPANY, BUILDING CONTROL AND WARRANTY PROVIDER

DEVELOPER TO SEEK FORMAL APPROVALS ONCE SCHEME IS CONFIRMED FROM ALL NECESSARY THIRD PARTIES

ALL EXISTING AND PROPOSED COVER AND INVERT LEVELS TO BE CONFIRMED PRIOR TO COMMENCING WORKS - CONTRACTOR TO CONFIRM PRIOR TO COMMENCING WORKS TO CONFIRM SCHEME IS VIABLE AND FEESIBLE

CONNECTION INTO EXISTING SEWER AS PER CONTRACTORS INFORMATION. LOCATIONS OF ALL EXISTING SERVICES TO BE CONFIRMED ON SITE - EXACT LOCATION OF EXISTING MANHOLE/ SEWER TO BE CONFIRMED BY CONTRACTOR ON SITE PRIOR TO COMMENCING WORKS.

ALL THIRD PARTY AGREEMENTS TO BE APPLIED FOR BY THE CLIENT - OUT OF BMC'S SCOPE.

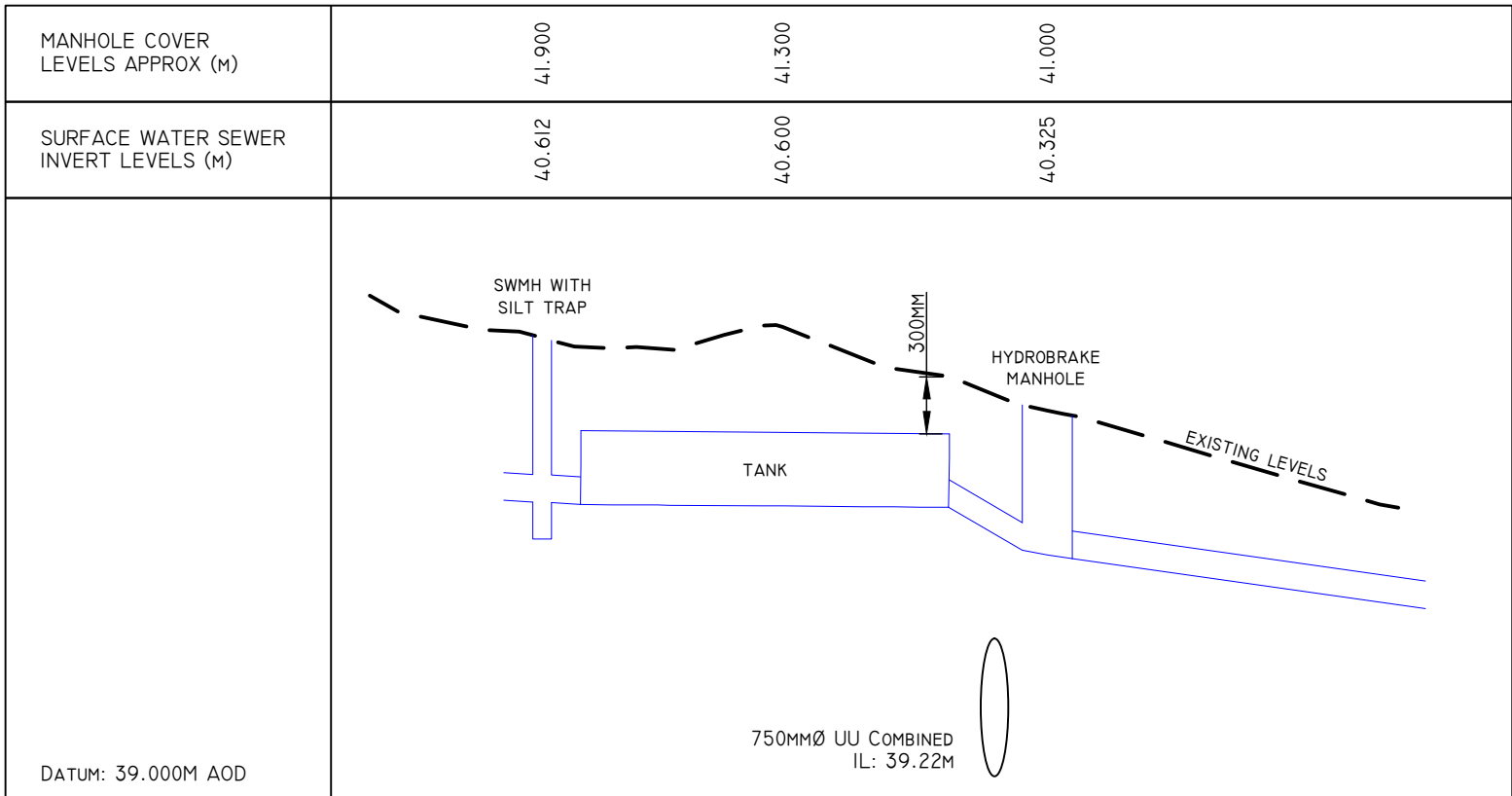
KEY:
--- DENOTES NEW FOUL WATER PIPE - ALL PIPES TO BE 1000 U.N.O LAID INVERT TO INVERT LEVELS (ALL INTERNAL POP UPS TO BE 1:40)
--- DENOTES NEW SURFACE WATER PIPE - ALL PIPES TO BE 1500 U.N.O LAID INVERT TO INVERT LEVELS
--- DENOTES NEW 4500 PPIC U.N.O
--- DENOTES VENT - SEE WAVIN TECHNICAL INFORMATION FOR MORE INFORMATION

SCHEME DESIGNED FOR: 1:100 YEAR & 40% CLIMATE CHANGE WITH NO FLOODING

ALL ACO REQUIREMENTS AT THRESHOLDS TBC - CONTRACTOR TO MAKE ALLOWANCE. FINAL POSITIONS OF SVP'S AND RWP'S TO BE CONFIRMED BY ARCHITECT.

HYDROBRAKE TO BE DESIGNED FOR:
FLOW LIMIT - 5L/S, HEAD - 0.44M

POP POSITIONS TBC BY ARCHITECT - REFER TO ARCHITECTS INFORMATION



SECTION THROUGH DRAINAGE OVER UU COMBINED SEWER
1:200 @ A1 (X5 VERTICAL EXAGGERATION)
1:400 @ A3 (X5 VERTICAL EXAGGERATION)

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- THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE RELEVANT BMC SPECIFICATIONS TOGETHER WITH THE APPROPRIATE ARCHITECTS AND SERVICES CONSULTANTS DRAWINGS AND SPECIFICATIONS.

DRAINAGE NOTES

- MANHOLE COVERS TO BE IN ACCORDANCE WITH BS EN 124
- CLAY PIPES TO BE FLEXIBLY JOINTED AND COMPLY WITH THE REQUIREMENTS OF BS EN 295. AS MESSRS HEPWORTH SUPERSLEEVE AND HEPSEAL
- CONCRETE PIPES TO BE FLEXIBLY JOINTED AND COMPLY WITH THE REQUIREMENTS OF BS 5911.
- PLASTIC PIPES (PVC-U) TO BE FLEXIBLY JOINTED AND COMPLY WITH THE REQUIREMENTS OF BS EN 1401-1 1998.
- WHERE COVER TO PIPES IS LESS THAN 1200 IN ROADS AND HARDSTANDINGS OR 900 MM ELSEWHERE, CONCRETE SURROUND IS TO BE PROVIDED IN ACCORDANCE WITH THE DETAIL.
- N.B. UNTIL FINAL SERVICE IS PLACED, HEAVY TRAFFIC IS NOT TO BE ALLOWED OVER PIPE TRENCHES WITHOUT SPECIAL PRECAUTIONS.
- PIPES AND FITTINGS ARE TO BE LAID IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
- MANHOLE COVERS IN CAR PARKS TO BE LOAD CLASS D400 TO BS EN 124.
- MANHOLE COVERS IN LANDSCAPED AND PAVED AREAS TO BE LOAD CLASS B125 BS EN 124.
- MANHOLE COVERS IN PAVED AREAS TO BE RECESSED TO ACCEPT PAVING FINISH.
- ACCESS COVERS FOR GULLIES IN KERBSIDES TO BE LOAD CLASS C250 BS EN 124.
- MANHOLE COVERS IN PAVED AREAS TO BE RECESSED TO ACCEPT PAVING FINISH.
- ACCESS COVERS FOR GULLIES IN KERBSIDES TO BE LOAD CLASS C250 BS EN 124.
- ALL INTERNAL POP UPS TO HAVE RODDABLE ACCESS
- ALL PIPES TO BE OSMA WAVIN RANGE.
- CLIENT/ CONTRACTOR TO ALLOW FOR ASSOCIATED TEMPORARY WORKS. TEMPORARY WORKS DESIGN OUT OF BMC'S SCOPE.

PRELIMINARY

B	UPDATED TO ADDRESS UULFA COMMENTS	10/07/23	SB
A	UPDATED TO ADDRESS LLFA COMMENTS	31/03/22	SB
REV	COMMENTS	DATE	BY

BMC

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CONSULTING LTD**

CONSULTING CIVIL & STRUCTURAL ENGINEERS
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EMAIL: CONSULTING@BELLMUNRO.CO.UK
WWW.BELLMUNRO.CO.UK

CLIENT: MITCHELL HOMES

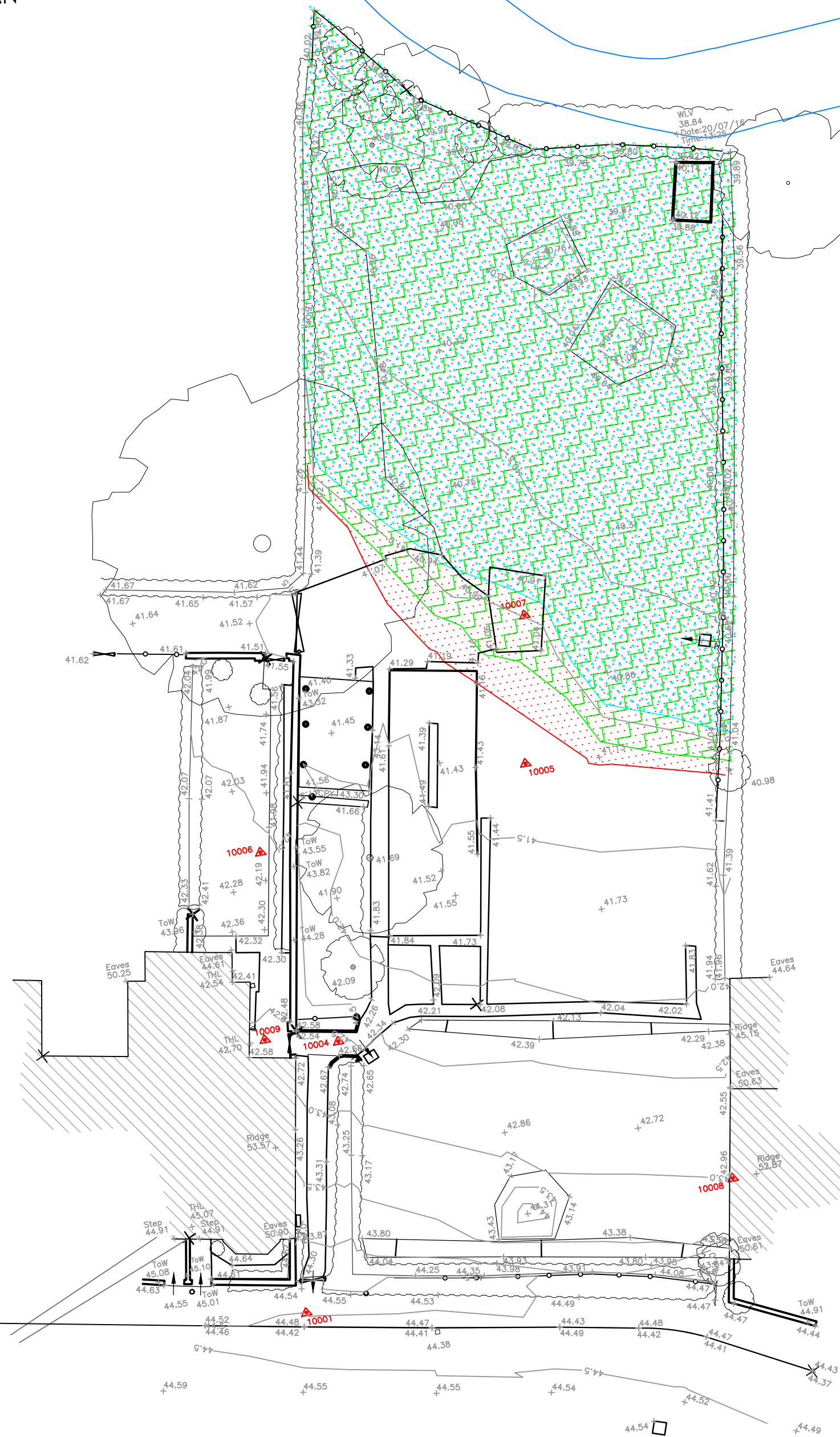
PROJECT: ALTON STREET, CREWE

TITLE: SITE LAYOUT SHOWING
DRAINAGE

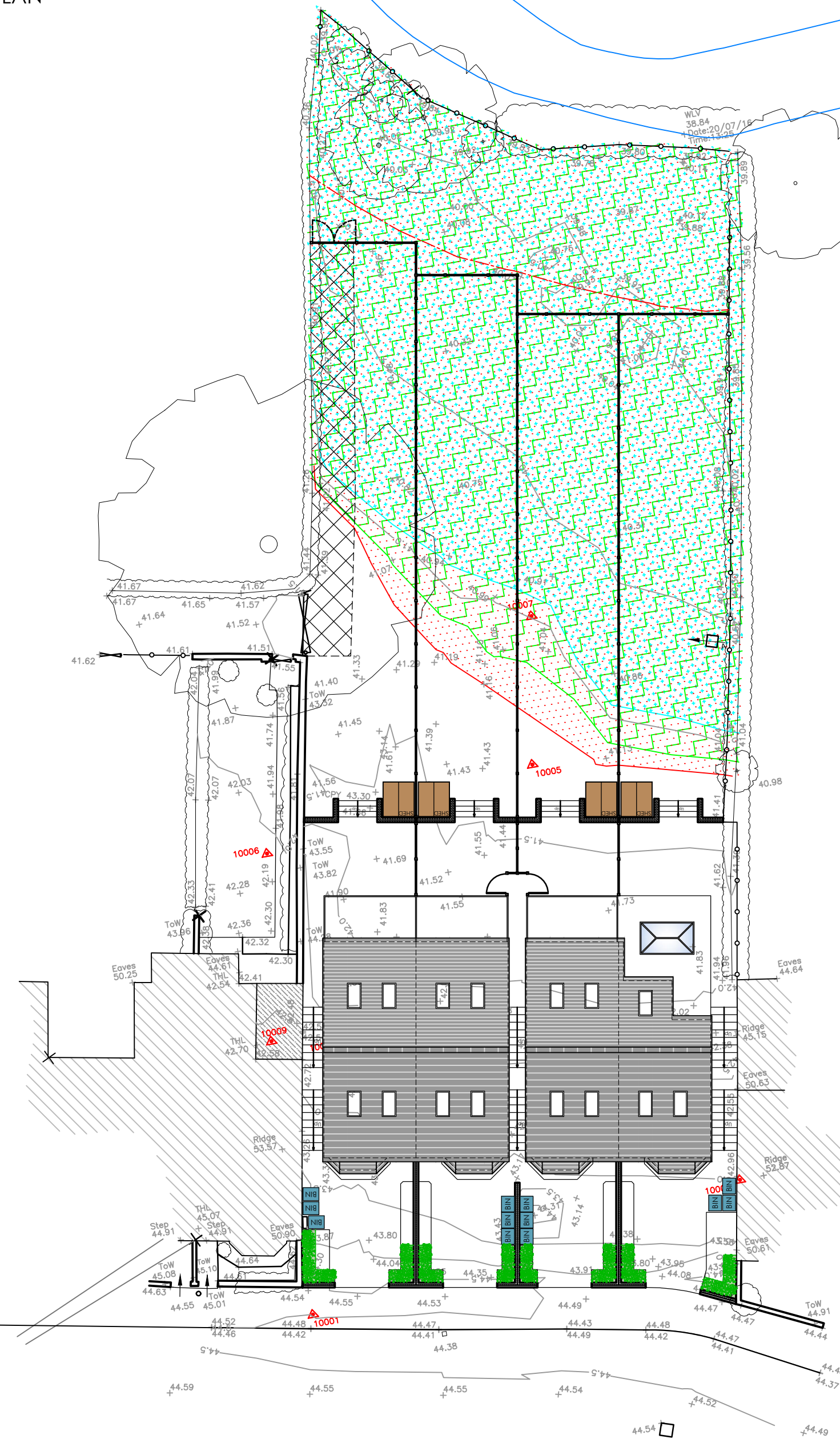
DRAWN BY: TN
CHECKED BY: SB
SCALE: 1:100
DATE: 10.21

DRAWING NUMBER: J7380 / D01
REVISION: B

EXISTING SITE PLAN



PROPOSED SITE PLAN



Page 154

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PROJECT:

Proposed Residential
Development, Alton Street
Crewe, CW2 7PU

DRAWING:

Flood Risk Zone Plan

DRAWN:

AWN:	CHECK:
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CHECK:

SCALE:
1:200 @ A2

DATE:	02/01/2019
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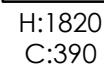
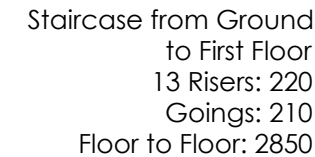
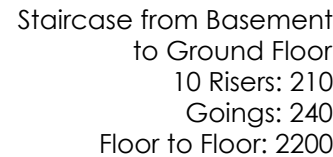
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NUMBER:
24

REVISION:

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Page 155



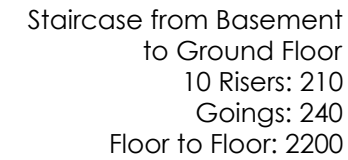
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	PROJECT
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	DRAWING
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255	NUM 45ED	256
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Page 156



	-	Drawn: -	Check: -
			
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DRAWN: CDR	CHECK: -		
PROJECT			
Proposed Residential Development, Alton Street Crewe, CW2 7PU			
DRAWING			
Existing No 179 GA Plans			
SCALE		DATE	
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REF	NUMBER	REV	
1261	25	-	

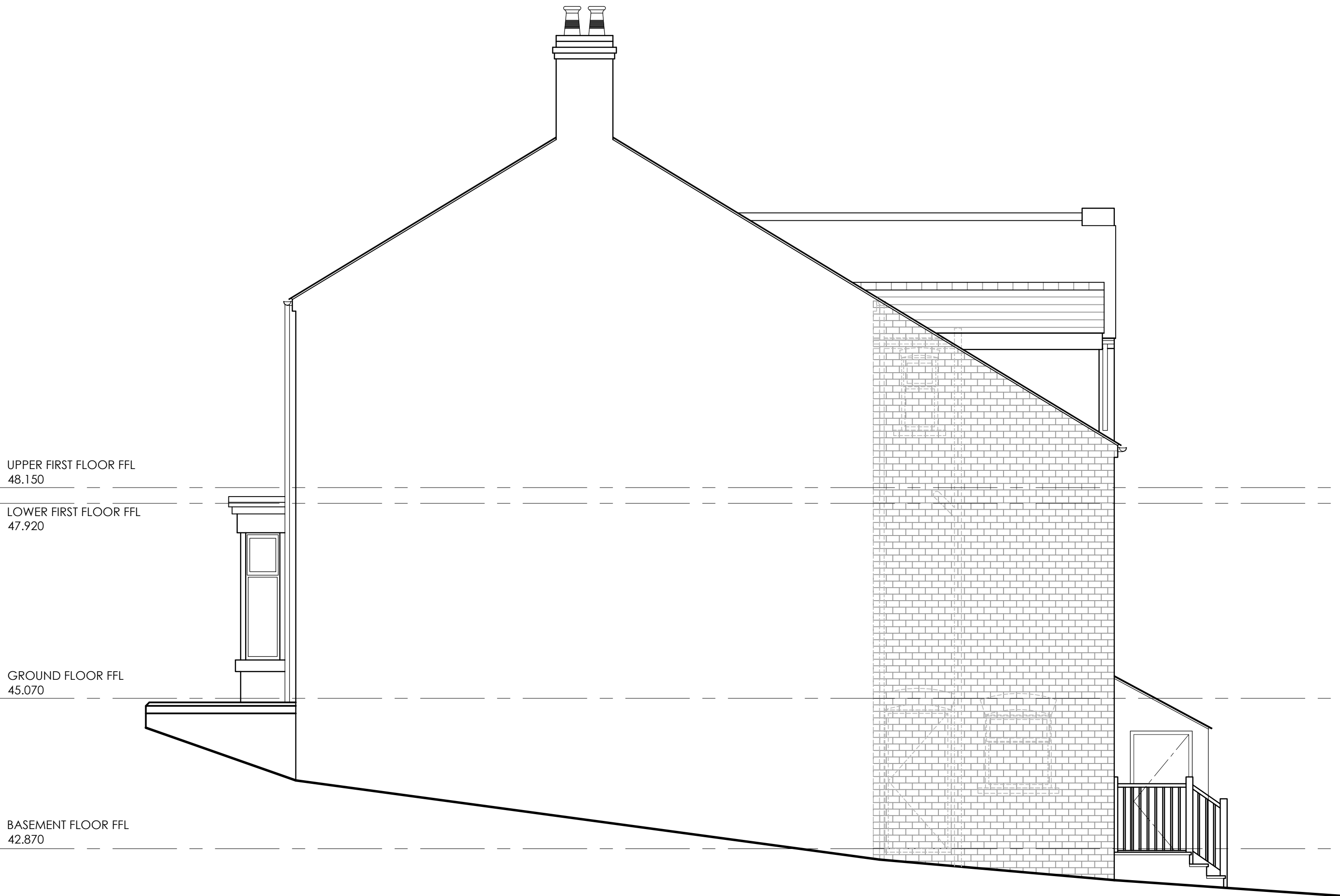
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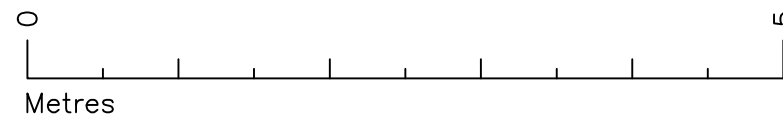
FRONT ELEVATION - No179



REAR ELEVATION - No179



SIDE ELEVATION - No179



A 15/01/2019 Drawn: CDR Check: -
Elevations updated following site survey.
Decking and French doors added to basement
level.

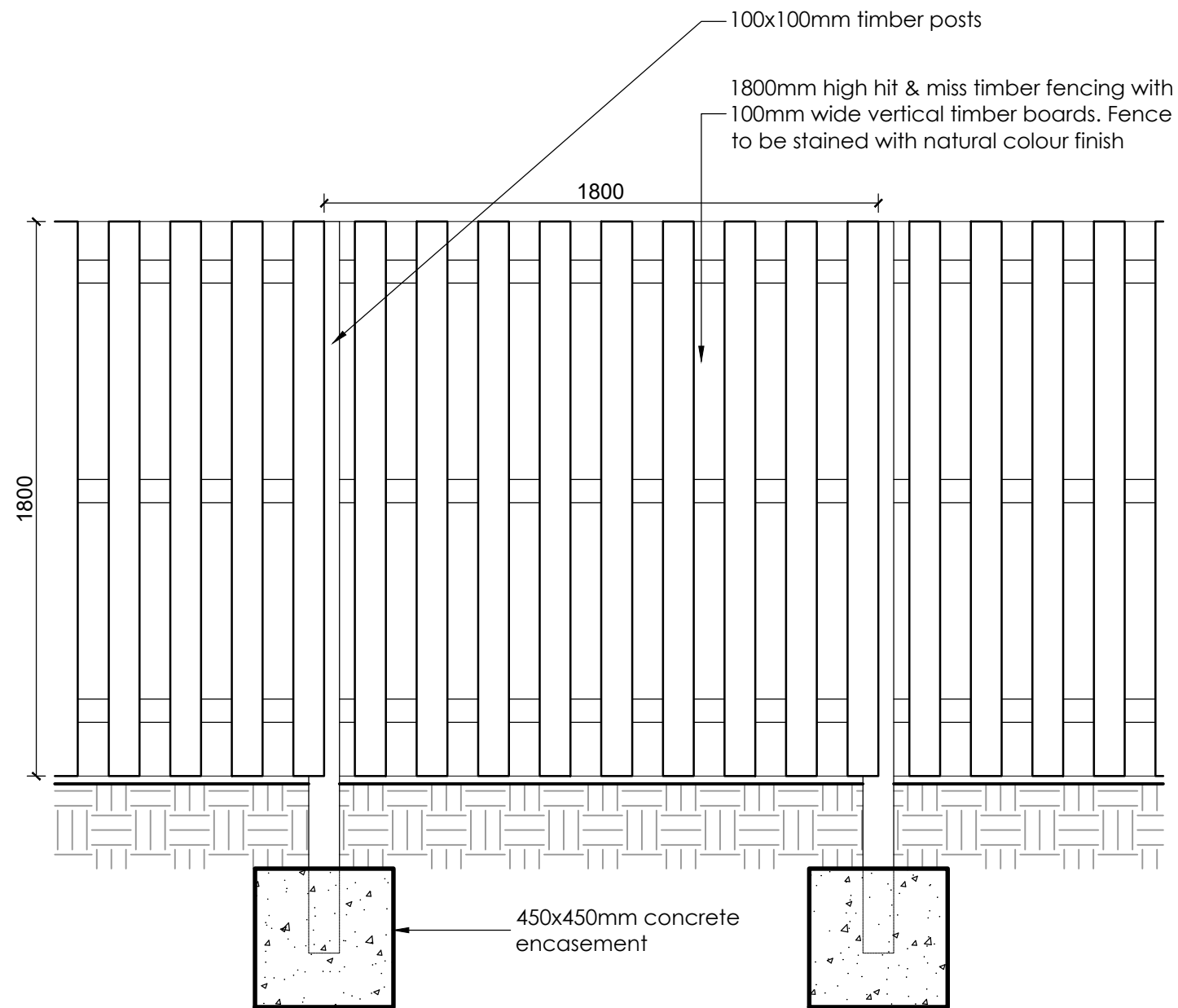
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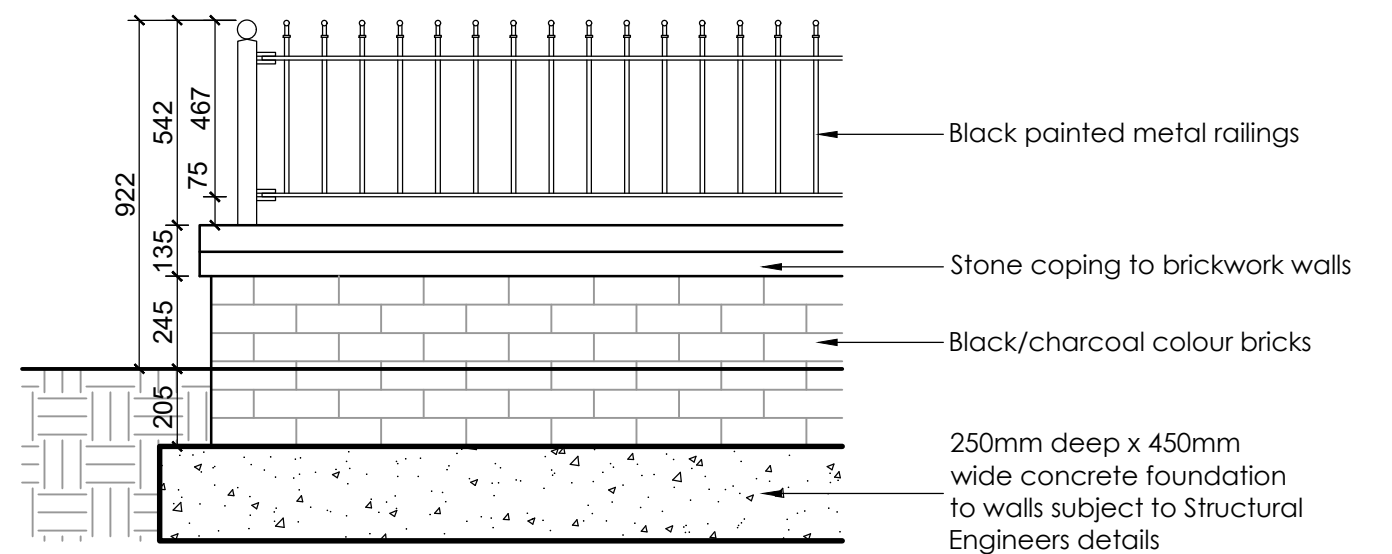
PROJECT
Proposed Residential
Development, Alton Street
Crewe, CW2 7PU

DRAWINGS
Proposed Elevations
No 179

SCALE	DATE	
1:50@A1	29/09/2018	
REF	NUMBER	REV
1261	23	A



1800mm HIGH VERTICAL HIT AND MISS FENCE



920MM HIGH BRICK WALL WITH METAL RAILINGS

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Drawn: - Check: -



PROJECT:
Residential Development
Alton Street, Crewe
CW2 7PU

DRAWN: CDR

CHECK: -

DRAWING:
Proposed
Fencing Details

SCALE:
1:20 @ A3

DATE:
29/09/2021

REF:
1261
NUMBER:
27
REVISION:
-

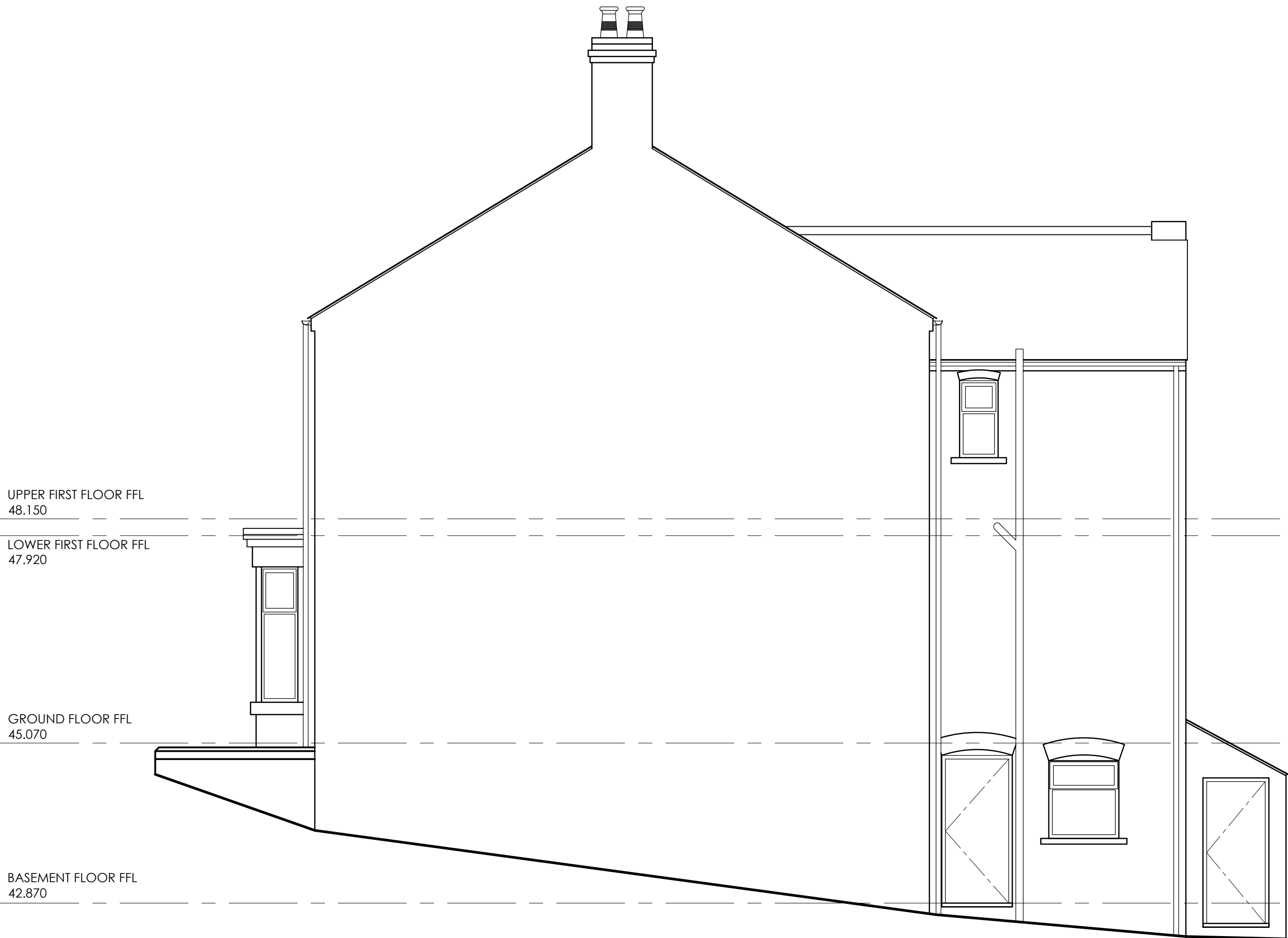
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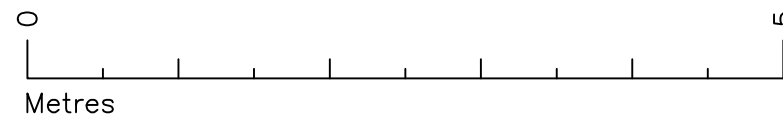
FRONT ELEVATION - No179



REAR ELEVATION - No179



SIDE ELEVATION - No179



A 15/01/2019 Drawn: CDR Check: -
Elevations updated following site survey.

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PROJECT
Proposed Residential
Development, Alton Street
Crewe, CW2 7PU

DRAWINGS
Existing Elevations
No 179

SCALE	DATE	
1:50@A1	29/09/2018	
REF	NUMBER	REV
1261	22	A



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C	04/01/2019	Drawn: CDR	Check: -
Minor revisions to terrace and stairs.			
B	28/09/2018	Drawn: CDR	Check: -
Revised following scheme change.			
A	16/08/2018	Drawn: CDR	Check: -
Bins relocated. Additional low boundary walls and metal railings added. Roof windows repositioned.			

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DRAWN: CDR	CHECK: -
PROJECT	
Proposed Residential Development, Alton Street Crewe, CW2 7PU	
DRAWING	
Proposed Junction Visibility Splay	
SCALE 1:200 @ A2	DATE 18/07/2018
REF 1261	NUMBER 19
REV C	

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RIDGE HEIGHT
53.570

SECOND FLOOR FFL
50.425

FIRST FLOOR FFL
47.875

GROUND FLOOR FFL
44.950

181

179

ALTON STREET

169

Solar panels

C	04/01/2019	Drawn: CDR	Check: -
Archways and windows added above front entrance doors.			
B	15/11/2018	Drawn: PJA	Check: -
Revisions to hedge height following discussions with Highways.			
A	29/10/2018	Drawn: CDR	Check: -
Revisions following meeting with Local Authority Planners.			

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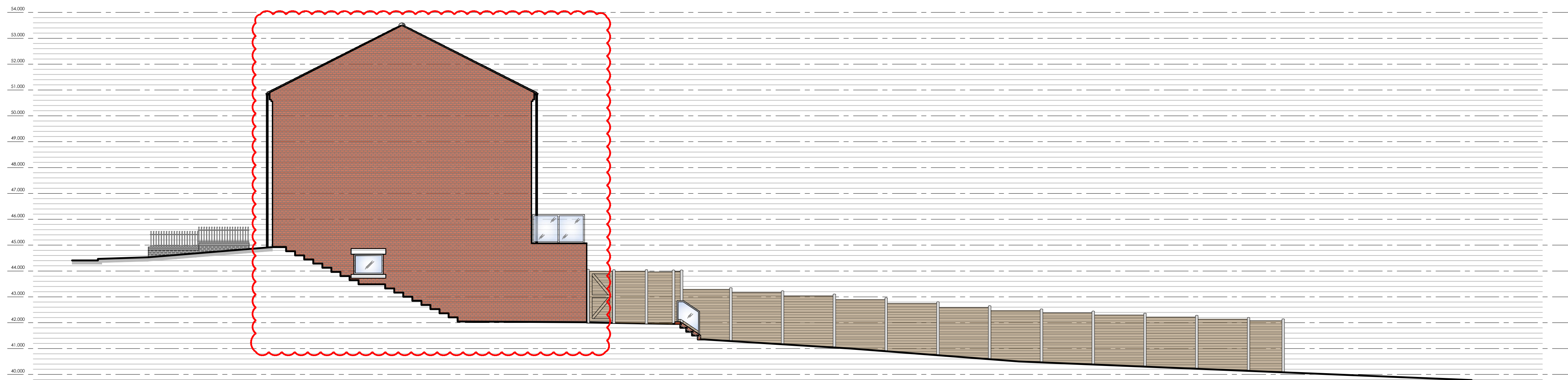
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PROJECT
Proposed Residential
Development, Alton Street
Crewe, CW2 7PU

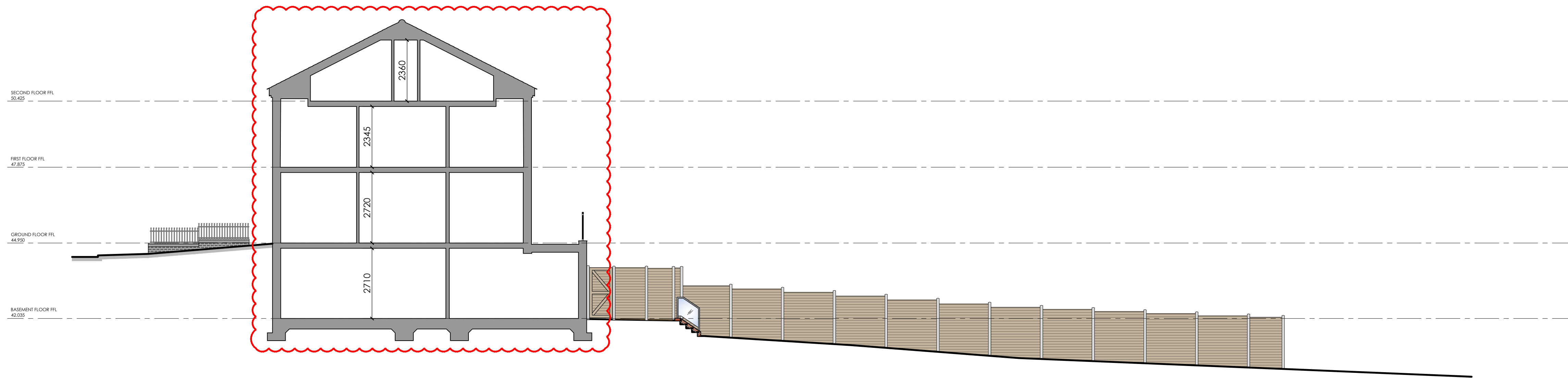
DRAWINGS
Proposed
Street Scene Elevations

SCALE		DATE	
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REF	NUMBER	REV	
1261	18	C	

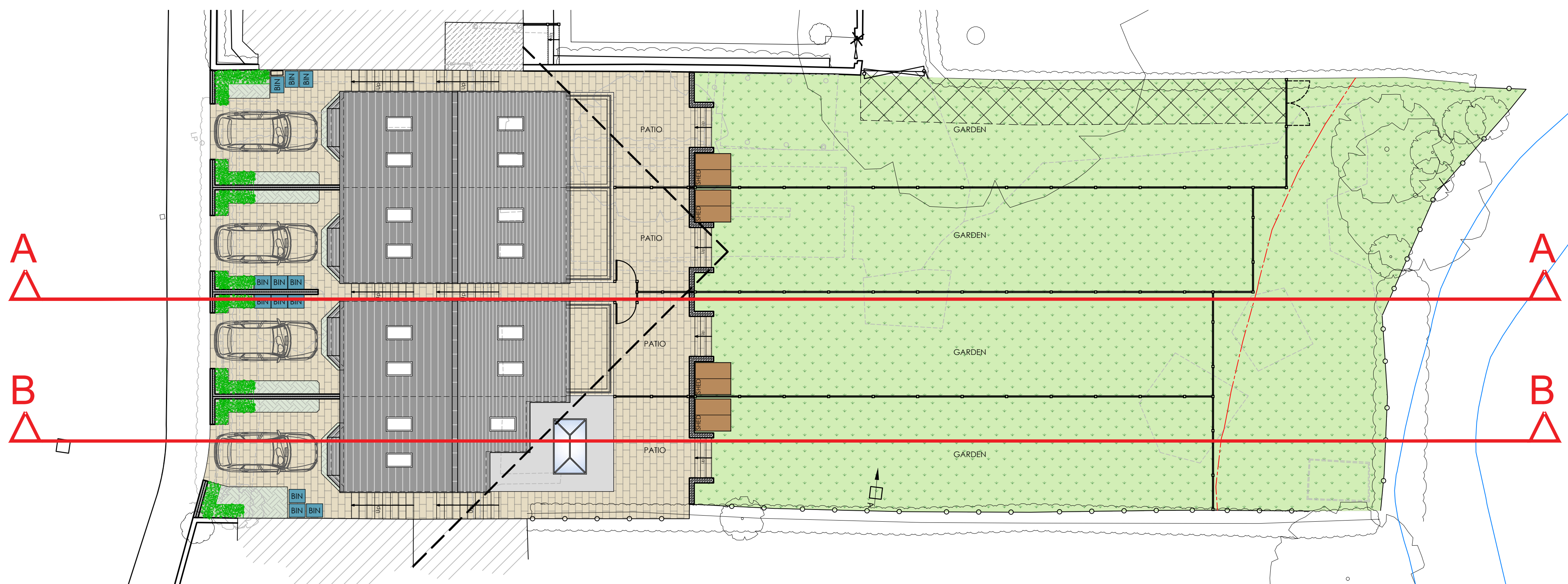
0 5.0
Metres



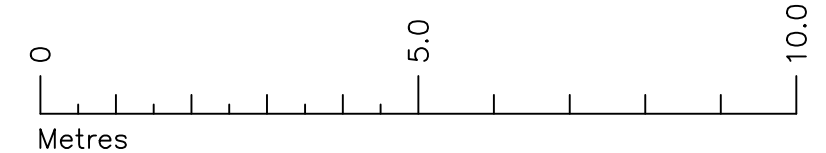
SITE SECTION A-A



SITE SECTION B-B



SITE PLAN - NTS



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C	04/01/2019	Drawn: CDR	Check:
Section and elevation amended to suit revised GA plans.			
B	28/09/2018	Drawn: CDR	Check:
Elevations revised to suit scheme change.			
A	16/08/2018	Drawn: CDR	Check:
Level indicators added to Section A-A. Second Floor revised.			

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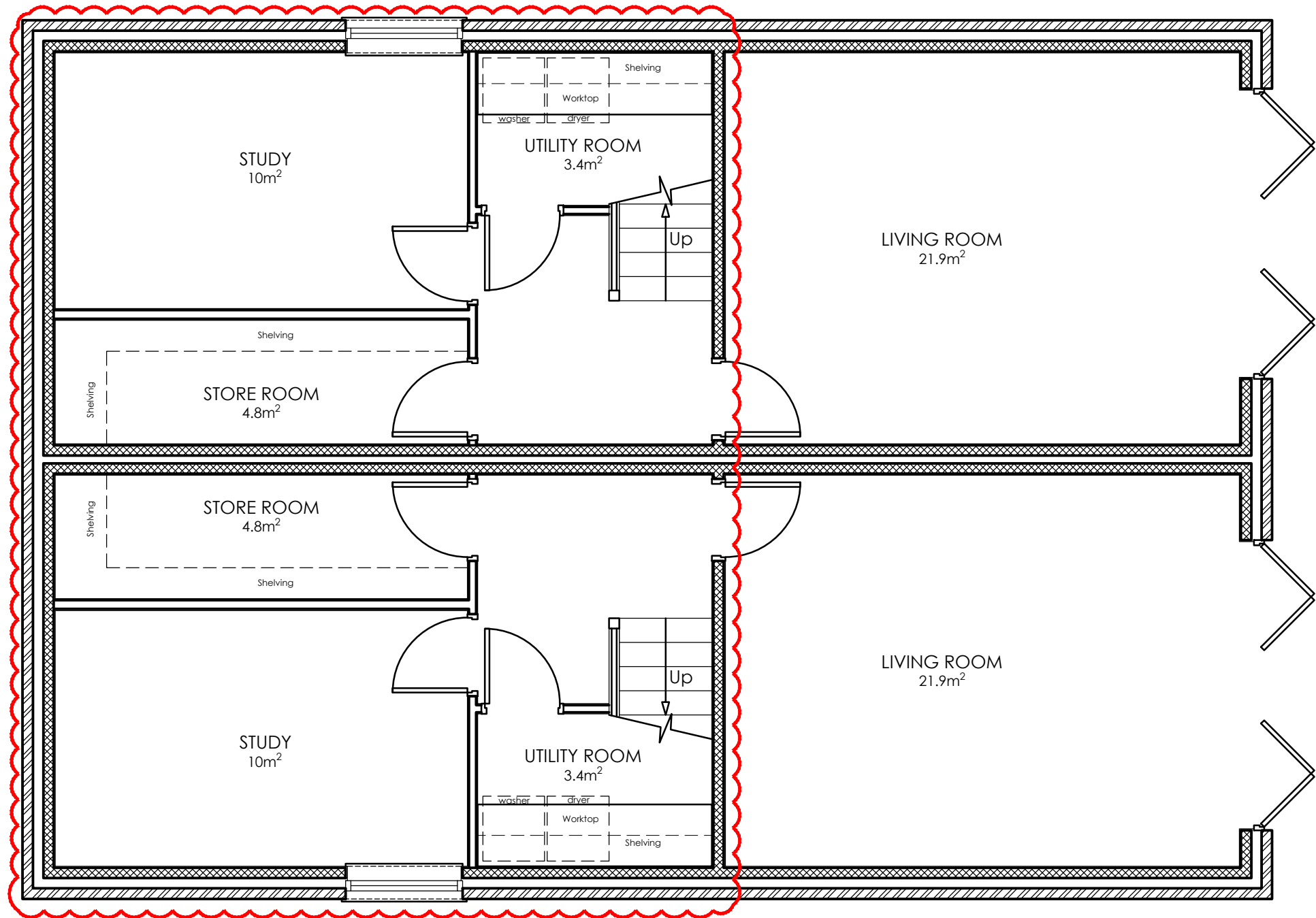
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PROJECT
Proposed Residential
Development, Alton Street
Crewe, CW2 7PU

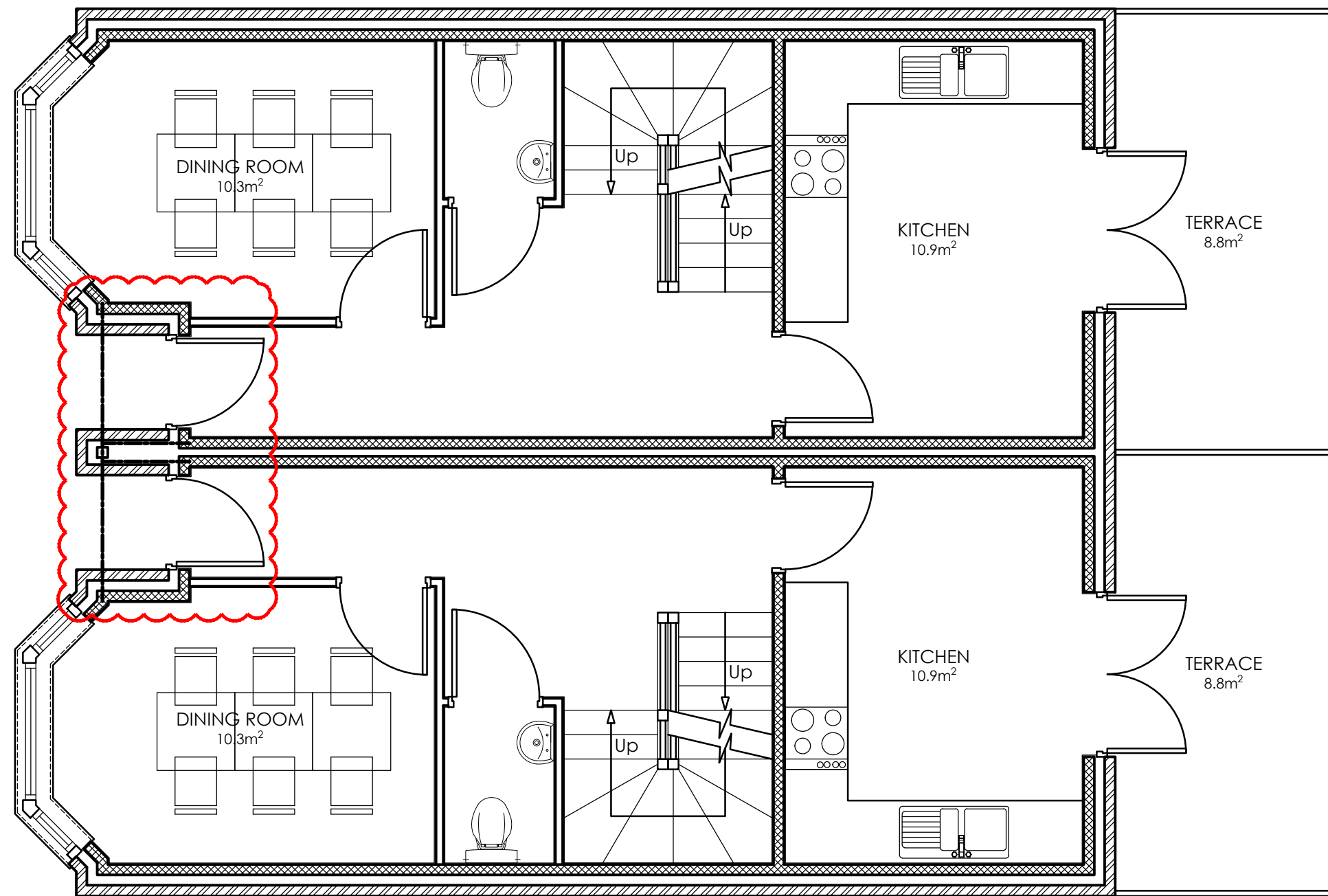
DRAWING

Proposed Site Sections

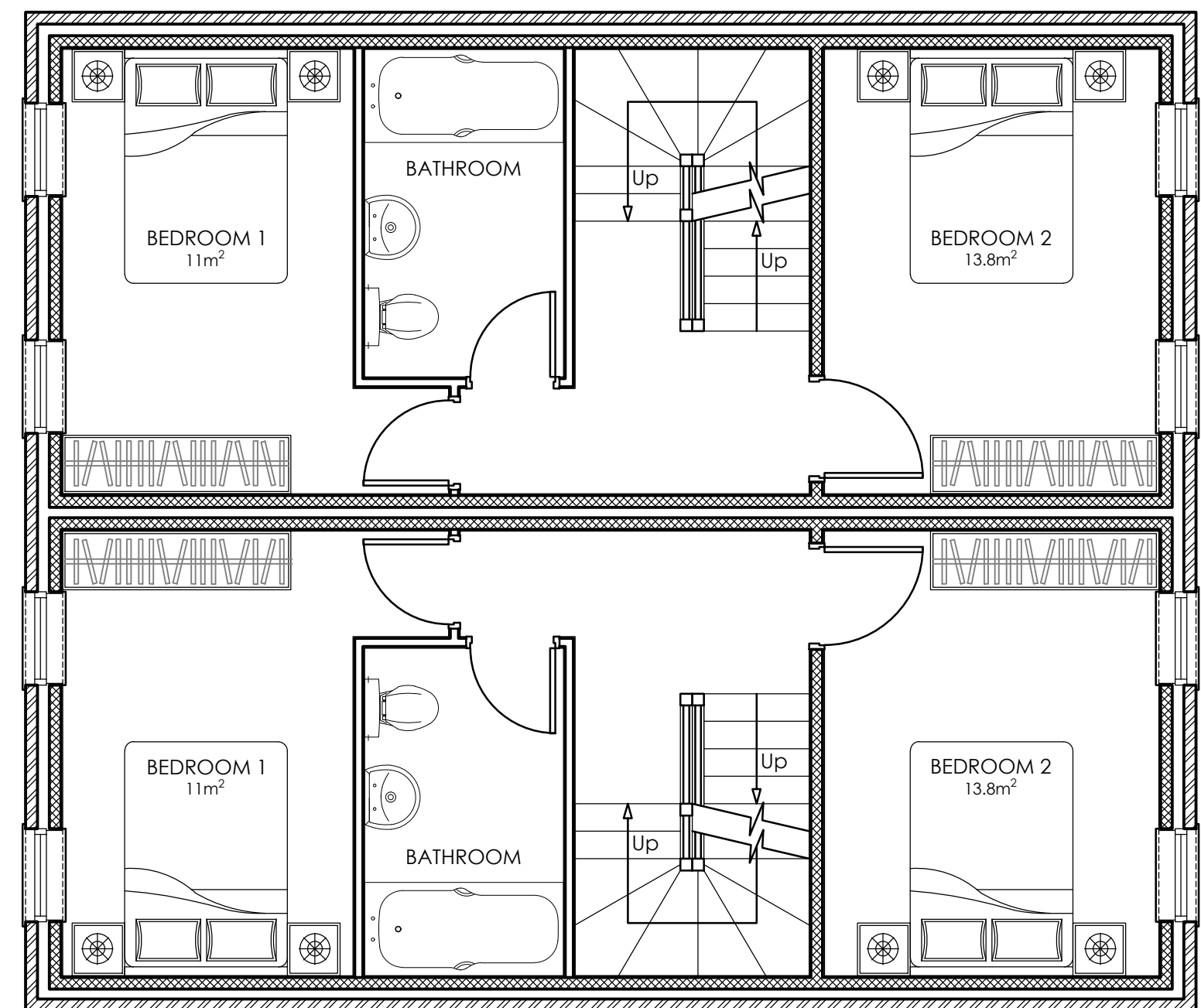
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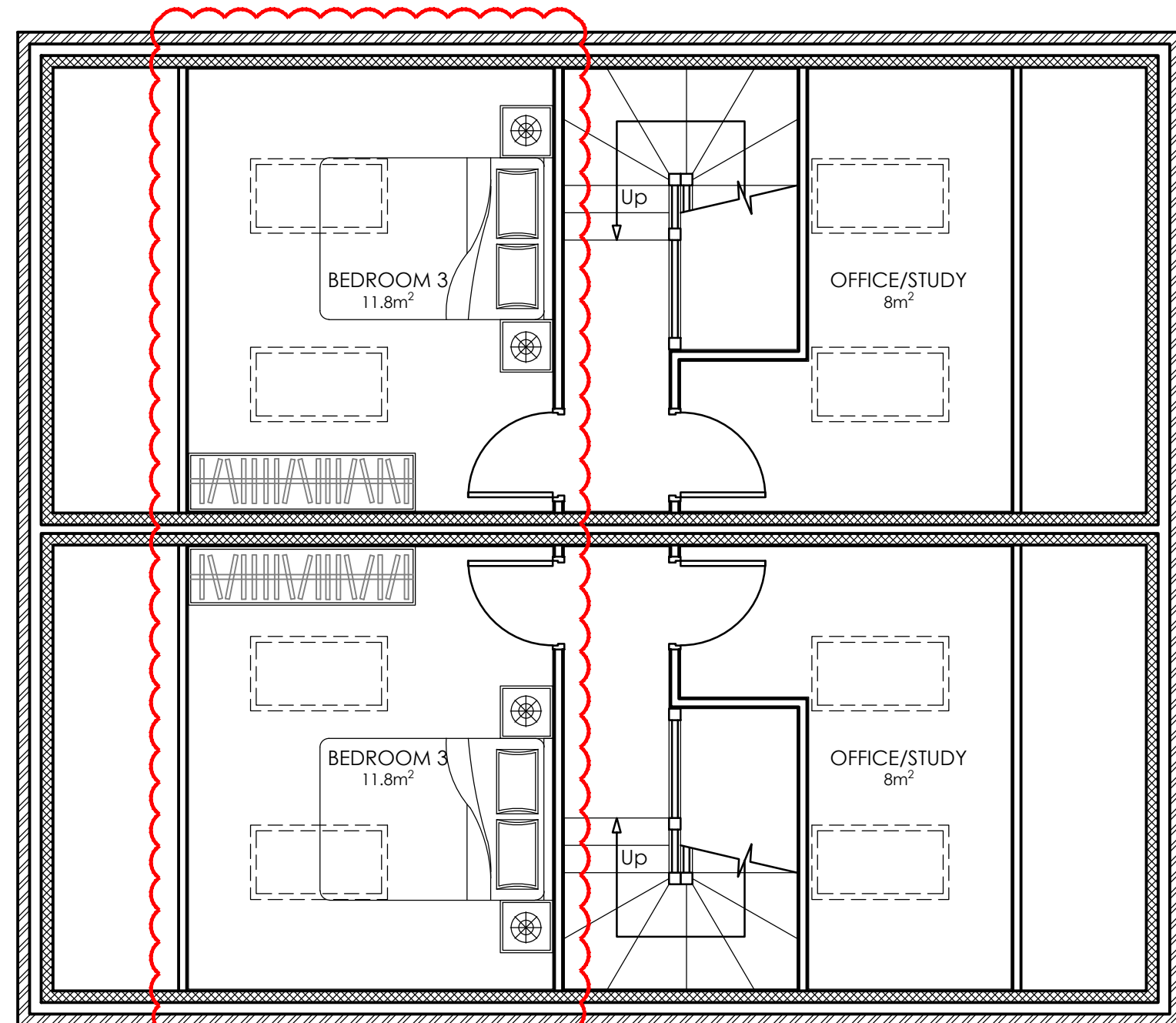
BASEMENT FLOOR PLAN - PLOTS 1 & 2



GROUND FLOOR PLAN - PLOTS 1 & 2



FIRST FLOOR PLAN - PLOTS 1 & 2



SECOND FLOOR PLAN - PLOTS 1 & 2



D	03/01/2019	Drawn: CDR	Check: -
Entrance area recessed. Second floor amended.			
C	15/11/2018	Drawn: PJA	Check: -
Alterations following omission of Garages			
B	14/09/2018	Drawn: CDR	Check: -
Proposed scheme revised.			
A	16/08/2018	Drawn: CDR	Check: -
Store room on Second floor revised. Garage increased in size.			
<div>ASK</div> <div>Architecture - Design - Project Management Leisure Retail Commercial Brands</div> <div>Hydra House, Hydra Business Park, Netter Lane, Ecclesfield, Sheffield, S33 6ZX Web: www.askadp.co.uk Tel: 0114 245 8775</div>			
DRAWN: CDR		CHECK: -	
PROJECT			
Proposed Residential Development, Alton Street Crewe, CW2 7PU			
DRAWING			
Proposed GA Plans Plots 1 & 2			
SCALE		DATE	
1:50 @ A1		16/07/2018	
REF	NUMBER	REV	
1261	17	D	

SECOND FLOOR FFL
50.425

FIRST FLOOR FFL
47.875

GROUND FLOOR FFL
44.950

BASEMENT FLOOR FFL
42.035

FRONT ELEVATION - PLOTS 1 & 2

REAR ELEVATION - PLOTS 1 & 2

SECOND FLOOR FFL
50.425

FIRST FLOOR FFL
47.875

GROUND FLOOR FFL
44.950

BASEMENT FLOOR FFL
42.035

SIDE ELEVATION - PLOTS 1 & 2

Opaque window to basement level

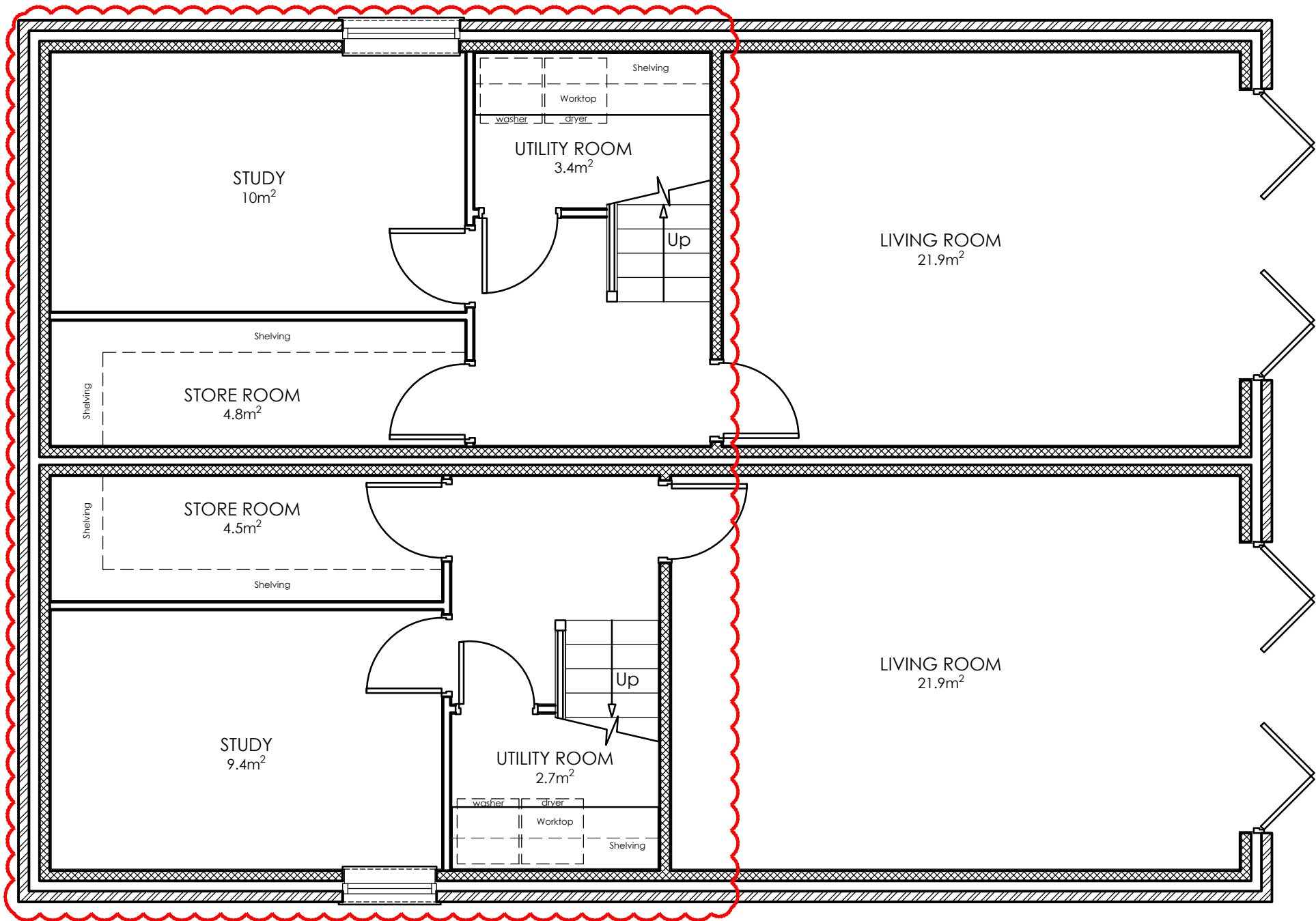
0
Metres

5.0

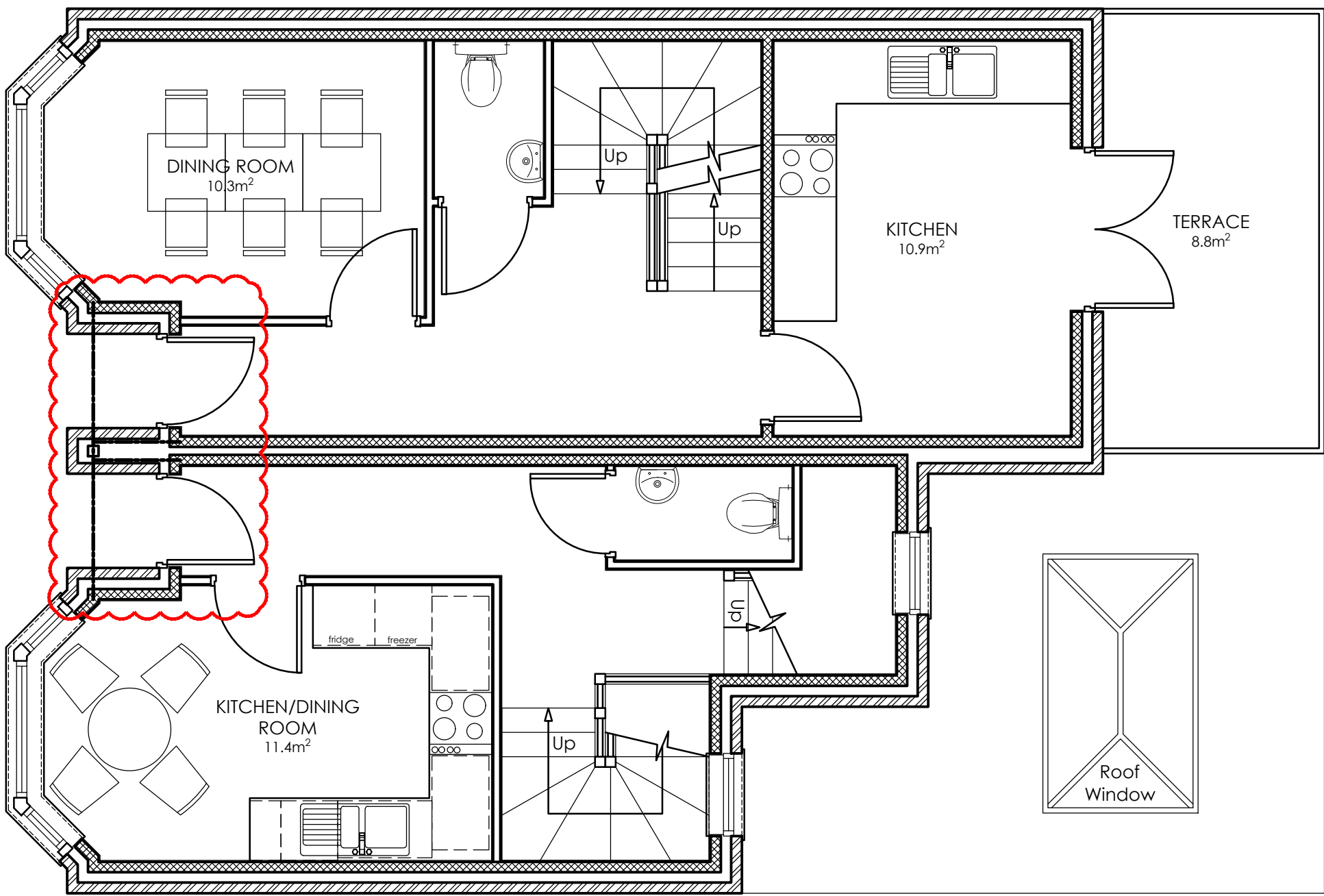
D	03/01/2019	Drawn: CDR	Check: -
Archways and windows above entrance doors added. Window to Study on Basement level increased in size.			
C	15/11/2018	Drawn: PJA	Check: -
Elevations revised to suit smaller building depth.			
B	14/09/2018	Drawn: CDR	Check: -
Proposed scheme revised.			
A	16/08/2018	Drawn: CDR	Check: -
Low wall and metal railings to side elevation revised.			

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Leisure | Retail | Commercial | Brands
Hydra House, Hydra Business Park, Netter Lane,
Ecclesfield, Sheffield, S33 6XZ
Web: www.askadp.co.uk Tel: 0114 245 8775

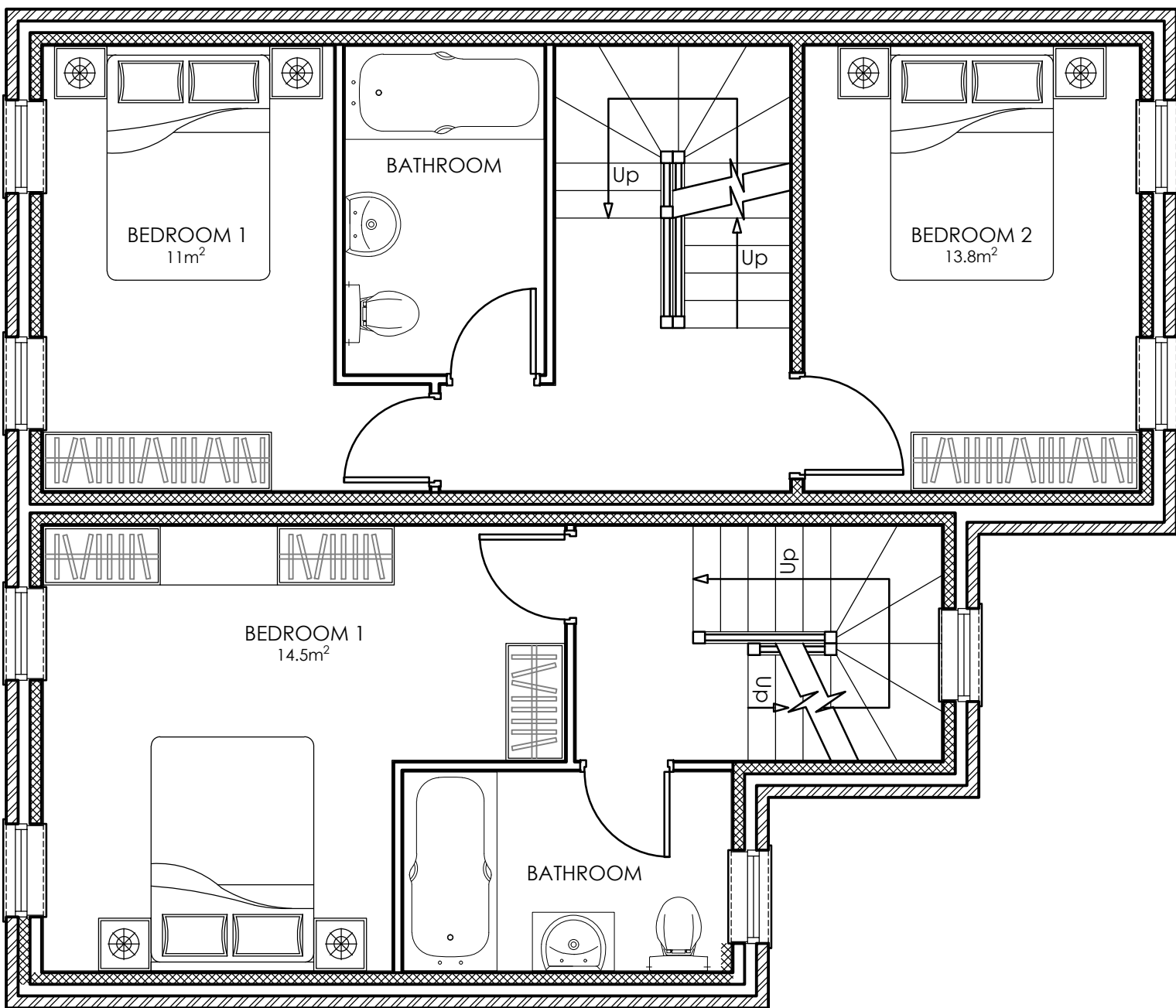
DRAWN :	CDR	CHECK :	-
PROJECT			
Proposed Residential Development, Alton Street Crewe, CW2 7PU			
DRAWINGS			
Proposed Elevations Plots 1 & 2			
SCALE	1:50@A1	DATE	16/07/2018
REF	NUMBER	REV	
1261	16	D	



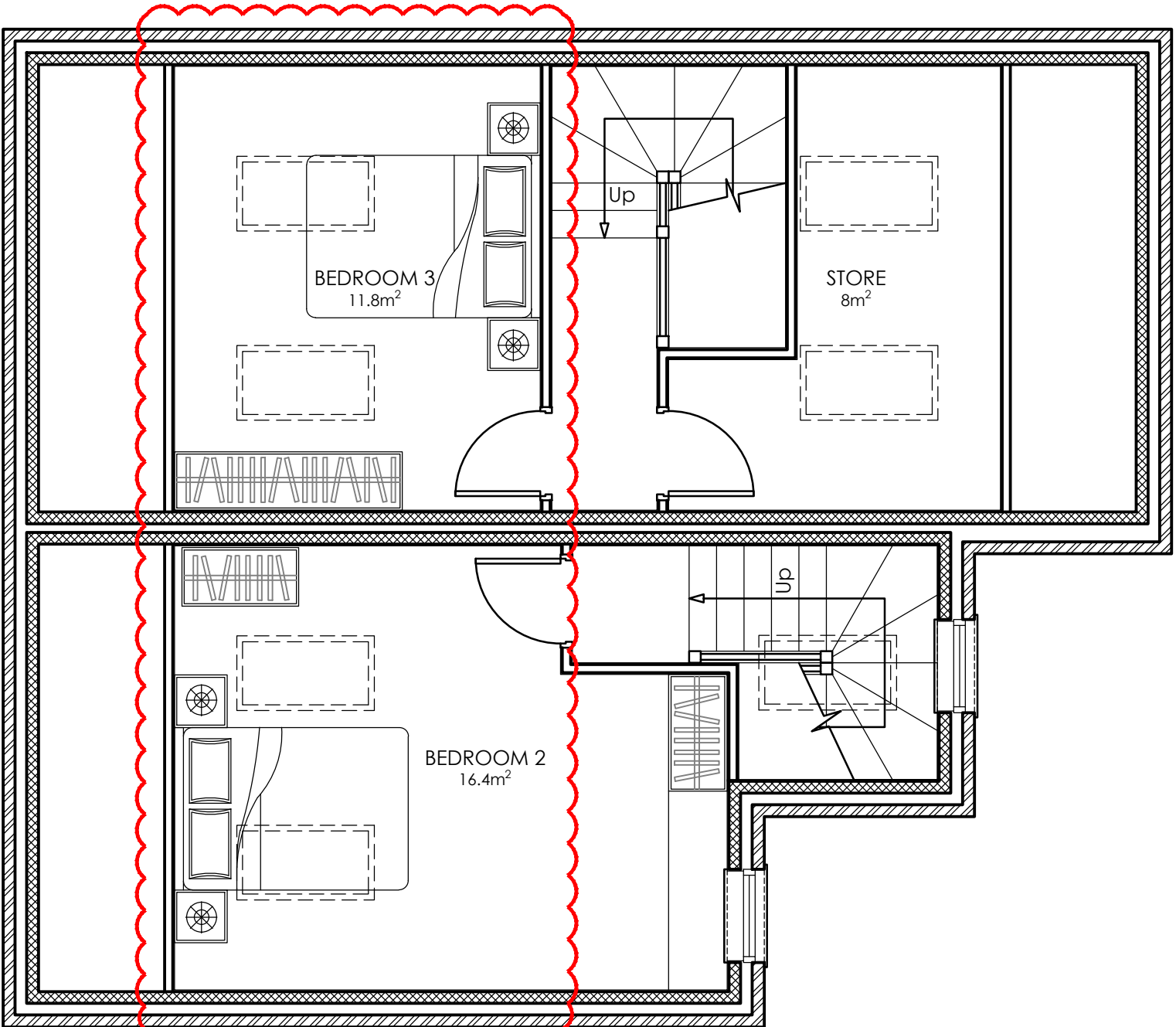
BASEMENT FLOOR PLANS - PLOTS 3 & 4



GROUND FLOOR PLAN - PLOTS 3 & 4



FIRST FLOOR PLAN - PLOTS 3 & 4



SECOND FLOOR PLAN - PLOTS 3 & 4



B	03/01/2019	Drawn: CDR	Check: -
Entrance area recessed. Second floor amended.			
A	15/11/2018	Drawn: PJA	Check: -
Alterations following omission of garages.			



DRAWN: CDR	CHECK: -
PROJECT	
Proposed Residential Development, Alton Street Crewe, CW2 7PU	
DRAWINGS	
Proposed GA Plans Plots 3 & 4	
SCALE 1:50 @ A1	DATE 16/07/2018
REF 1261	NUMBER 21
REV B	

SECOND FLOOR FFL
50.425

FIRST FLOOR FFL
47.875

GROUND FLOOR FFL
44.950

BASEMENT FLOOR FFL
42.035

FRONT ELEVATION - PLOTS 3 & 4

REAR ELEVATION - PLOTS 3 & 4

SECOND FLOOR FFL
50.425

FIRST FLOOR FFL
47.875

GROUND FLOOR FFL
44.950

BASEMENT FLOOR FFL
42.035

SIDE ELEVATION - PLOTS 3 & 4

Opaque window to basement level

0
Metres

5.0

B	04/01/2019	Drawn: CDR	Check: -
Archways and windows above entrance doors added. Window to Study on Basement level increased in size.			
A	15/11/2018	Drawn: PJA	Check: -
Garage Omitted			



DRAWN: CDR	CHECK: -
PROJECT	
Proposed Residential Development, Alton Street Crewe, CW2 7PU	
DRAWINGS	
Proposed Elevations Plots 3 & 4	
SCALE 1:50@A1	DATE 16/07/2018
REF 1261	NUMBER 20
REV B	

Application No: 22/0720N

Location: Land North of Alvaston Roundabout Middlewich Road, Nantwich

Proposal: Proposed new office development (Use Class B1) consisting of six buildings with associated car parking, access road and landscaping (Resubmission of 20/2609N)

Applicant: Mr J Beeson, BLOK (UK) Ltd

Expiry Date: 31-Aug-2023

SUMMARY

The site lies within the open countryside within which Policy PG6 of the Cheshire East Local Plan (CELPS) only permits certain forms of new development. However, the erection of new commercial units is not one of these exceptions. The proposal also seeks the provision of some 1.1ha of employment land in addition to the substantial amounts already provided for in the adopted LPS with no justification/need/lack of other sites demonstrated.

It is not considered therefore that the proposal has justified/requires an open countryside location and is not considered to be sited in the right location contrary to Policies EG1, EG2, EG3 of the CELPS & RUR10 of the SADPD.

The site is also not allocated for any development within the Site Allocations Development Policies Document (SADPD) and is shown as remaining within the open countryside.

As a result the proposal would represent a departure from the Local Plan and should not be approved unless material considerations indicate otherwise.

In this case, the development would provide positive planning benefits such as economic benefits during the construction phase and economic and social benefits associated with the proposed use.

Balanced against these benefits must be the dis-benefits, which in this case would be the loss of open countryside and the visual harm by developing a site that is currently free from development. The loss of agricultural land.

The Impact of the proposals on ecology, flood risk, highways would be neutral.

As a result, on balance the benefits are not considered to outweigh the dis-benefits and there do not appear to be any material considerations which outweigh the harm caused. Therefore, the proposal should be refused.

RECOMMENDATION

REFUSE

REASON FOR REFERRAL

Due to the size of the floor space exceeding the threshold of 5000sqm.

DESCRIPTION OF SITE AND CONTEXT

The application site is a vacant parcel of land sited to the north-east of Alvaston Business Park, Nantwich.

To the south is a public house, to the west are commercial premise and open land to the north and east. The site is located off the Alvaston roundabout

The site is designated as Open Countryside as per the Local Plan.

DETAILS OF PROPOSAL

Proposed new office development (Use Class B1) consisting of six buildings with associated car parking, access road and landscaping (Resubmission of 20/2609N)

This consists of x6 free standing units consisting of 5633sqm of new office floor space.

The site area totals 1.11 hectares.

RELEVANT HISTORY

20/2609N – Proposed new office development (Use Class B1) consisting of six buildings with associated car parking, access road and landscaping – Refused 3rd March 2021

POLICIES

Cheshire East Local Plan Strategy (CELPS)

MP1 Presumption in Favour of Sustainable Development

PG2 Settlement Hierarchy

PG6 Open Countryside

PG7 Spatial Distribution

SD 1 Sustainable Development in Cheshire East

SD 2 Sustainable Development Principles

SE 1 Design

SE 2 Efficient Use of Land

SE3 Biodiversity and Geodiversity

SE4 The Landscape

SE5 Trees, Hedgerows and Woodlands

SE 12 Pollution, Land Contamination and Land Instability

SE13 Flood Risk and Water Management

EG1 Economic Prosperity

EG2 Rural Economy

EG3 Existing and Allocated Employment Sites

EG5 Promoting a Town Centre First Approach to Retail and Commerce
CO1 Sustainable Travel and Transport

Appendix C Parking Standards

Site Allocations and Development Policies Document (SADPD)

PG8 Development at Local Service Centres
PG9 Settlement Boundaries
GEN 1 Design Principles
ENV 1 Ecological Network
ENV 2 Ecological Implementation
ENV 3 Landscape Character
ENV5 Landscaping
ENV6 Trees, Hedgerows and Woodlands
ENV 7 Climate change
ENV16 Surface Water Management and Flood Risk
HOU10 Backland Development
HOU12 Amenity
INF3 Highways Safety and Access
INF 9 Utilities
RUR 10 Employment development in the open countryside
EMP 2 Employment allocations
RET 3 Sequential and impact tests
RET 7 Supporting the vitality of town and retail centres

National Planning Policy Framework (NPPF)

11. Presumption in favour of sustainable development.
80-82. Building a strong, competitive economy
124-132. Achieving well-designed places

Other Material Considerations

Cheshire East Design Guide
The EC Habitats Directive 1992
Conservation of Habitats & Species Regulations 2010
Circular 6/2005 - Biodiversity and Geological Conservation - Statutory Obligations and Their Impact within the Planning System

CONSULTATIONS (External to Planning)

Environmental Health - No objection subject to conditions/informatives regarding contaminated land, working hours, boilers and working hours for construction.

Highways - No objection subject to conditions regarding the width of pedestrian and cycle footways and a construction management statement and contribution of 80k towards junction improvements at the Alvaston roundabout.

Flood Risk - No objection subject to condition requiring a drainage strategy.

United Utilities - No objection subject to conditions regarding details of a sustainable surface water drainage scheme and a foul water drainage scheme.

View of the Parish/Town Council:

Nantwich Town Council – No objection

Other Representations:

A representation has been received objecting to the application on the grounds summarised below ;

- loss of open countryside
- Already enough employment land in more suitable locations
- Flooding/drainage issues
- Loss of trees
- Capability of roundabout to deal with increased traffic
- Limited power supply to the existing businesses this will make it worse

5 letters of support have been received on the grounds that ;

- It is a suitable location for much needed employment space

OFFICER APPRAISAL

Principle of Development

The site lies within the open countryside within which Policy PG6 of the Cheshire East Local Plan (CELPs) only permits certain forms of new development. However, the erection of new commercial units is not one of those exceptions. Policy PG6 seeks to preserve the countryside for its scenic, recreational, aesthetic and productive qualities. It restricts development in those areas to that essentially linked to uses appropriate in the rural area. The development of the application site would have an impact upon the character and appearance of the open countryside. The introduction of buildings, surface infrastructure, landscaping and vehicles would potentially have an urbanising effect on the site.

The site is also not allocated for any development within the Site Allocations Development Policies Document (SADPD) and is shown as remaining within the open countryside.

As a result, the proposed development would not fall within any of the categories of exception to the restrictive policy relating to development within the open countryside. As a result, it constitutes a “departure” from the development plan and there is a presumption against the proposal, under the provisions of sec.38(6) of the Planning and Compulsory Purchase Act 2004 which states that planning applications and appeals must be determined “in accordance with the plan unless material considerations indicate otherwise”.

The issue in question is whether there are other material considerations associated with this proposal, which are a sufficient to outweigh the policy objection.

Rural economy/employments sites

Policy RUR 10 of the SADPD (Employment development in the open countryside) advises that:

1. Employment development may be appropriate to a rural area where:
 - i. its scale is appropriate to the location and setting;
 - ii. the nature of the business means that a countryside location is essential; and
 - iii. the proposals provide local employment opportunities that support the vitality of rural settlements.
2. Where it is demonstrated that the proposal is appropriate to a rural area under Criterion 1, employment development will be supported where it accords with other policies in the development plan and:
 - i. the proposals make the best use of existing infrastructure such as existing buildings, utilities, parking and vehicular access;
 - ii. additional buildings, structures and ancillary development are restricted to the minimum level reasonably required for the existing or planned operation of the business; are well-related to each other and existing buildings and do not form isolated or scattered development;
 - iii. the proposal does not unacceptably affect the amenity and character of the surrounding area or landscape (including visual impacts, noise, odour, design and appearance) either on its own or cumulatively with other developments;
 - iv. appropriate landscaping and screening is provided.

Policy EG1 of the CELPS advises that proposals for employment development (Use Classes B1, B2 or B8) will be supported in principle within the Principal Towns, Key Service Centres and Local Service Centres as well as on employment land allocated in the Development Plan.

The Policy also advises that proposals for employment development on non-allocated employment sites will be supported where they are in the right location and support the strategy, role and function of the town, as identified in Settlement Hierarchy, Spatial Distribution of Development and in any future plans, including Neighbourhood Plans, where applicable.

The reference to right location and supporting the strategy, role and function of the town, as identified in the settlement hierarchy (amongst other things) refers to development being directed to higher order centres in the settlement hierarchy. This includes Nantwich, as a Key Service Centre, as defined by the settlement boundary on the Policies Map.

Policy EG2 of the CELPS advises that it will seek to provide opportunities for rural employment that supports the vitality of rural settlements, encourages the retention and expansion of existing business through the conversion of existing buildings and farm diversification and supports the wider strategic interest of economic development within the borough where:

- it would support the rural economy and could not be reasonably expected to locate within a designated centre by reason of their products sold
- would not undermine the delivery of employment allocations
- would not harm the character/landscape of the area.

Policy EG3 of the CELPS seeks to support existing and allocated employment sites. However, the site is not allocated for employment and as such is not supported by this policy.

Appraisal against these policies

In this instance the proposal is not sited within a Principal Town, Key Service Centre, Local Service Centres or employment land allocated in the Development Plan. It is sited purely within the open countryside outside of the settlement boundary.

The proposal would not appear to support the vitality of rural settlements or the rural economy as it seeks unrelated office development and users would likely use facilities/amenities within Nantwich itself with no connection to rural enterprise. No justification has been given to consider why the proposal must be sited in this open countryside location given the nature of the use (or nature of products sold) and should therefore be located within a designated centre or employment area.

The proposal would also not seek to convert existing buildings but the erection of new ones.

The proposal would also seek to develop a parcel of land that is currently free from development and thus would cause some visual harm to the area/landscape by losing its open nature.

It is not considered therefore that the proposal has justified/requires an open countryside location and is not considered to be sited in the right location.

As a result the proposal is contrary to Policies EG1, EG2, EG3 of the CELPS and RUR10 of the SADPD.

Employment Need

While the CELPS does encourage employment development on non-allocated sites (Policy EG 1), this policy makes it clear that employment sites will be supported where they are in the right location and support the strategy, role and function of the town, as identified in Settlement Hierarchy, Spatial Distribution of Development.

As noted in the above sections of this report, this is not considered to be the right location. Opportunities for commercial redevelopment and reuse of vacant buildings should be focused primarily on town centres in line with the Council's town centre first approach as per Policy EG5. These are the most sustainable locations from a public transport perspective and this policy approach is required to assist in retaining their vitality and viability, particularly in view of the need to address wider trends around rising shop vacancies resulting from the increase in on-line shopping.

The application is seeking the provision of some 1.1ha of employment land in addition to the substantial amounts already provided for in the adopted LPS. Overall, the CELPS identifies over 380ha of land for employment purpose within the Borough to 2030 (Policy PG 1 & Appendix A), with some 65ha of this land being identified in Crewe and 3ha in Nantwich (Policy PG 7). Within this amount a total of up to 21.16ha of land is specifically allocated for B1 use within the Nantwich / Crewe area, comprising 2ha at Kingsley Fields, Nantwich (Policy LPS 46),

19ha at Basford East, Crewe (Policy LPS 12) and 0.16ha at Basford West, Crewe (Policy LPS 3).

No evidence of employment need for the area, of the type submitted by the Council and accepted by the Local Plan Inspector, has been included with the application to justify a departure from the identified employment land requirement and distribution evidence that underpins the land allocations in the adopted plan.

Annual Monitoring Report (AMR) Indicator MF7 reports on the net take-up of employment land, which over the plan period has been:

Year	Net employment land take-up
2010/11	0.73ha
2011/12	1.20ha
2012/13	1.94ha
2013/14	2.29ha
2014/15	1.66ha
2015/16	4.18ha
2016/17	5.07ha
2017/18	3.36ha
2018/19	11.60ha
2019/20	7.29ha
2020/21	6.56ha
2021/22	12.79ha
Total	58.67ha (average take-up 4.51ha per year)

Indicator PG 3 reports on the total gross supply of employment land, which at 31/03/22 was 390.80ha.

Given that these relatively low levels of take-up have facilitated an average jobs growth rate of 1.4% per year during the plan period (against a planned 0.7% jobs growth rate) and there remains a very substantial supply of employment land, it is not considered that additional employment land in the open countryside is needed to deliver the plan strategy.

Economic prosperity and town centre first approach

The application site sits outside of the town centre or other designated centre and is located within open countryside and is not allocated for employment use in the Local Plan.

Policy EG5 of the CELPS advises that proposals for main town centre uses should be located within the designated town centres or on other sites allocated for that particular type of development. Where there are no suitable sites available, edge-of-centre locations must be considered prior to out-of-centre locations. Edge-of-centre and out-of-centre proposals will be considered where:

- i. there is no significant adverse impact on the vitality and viability of the surrounding town centres; and
- ii. it is demonstrated that the tests outlined in current government guidance can be satisfied.

iii. The sequential approach will not be applied to applications for small scale rural offices or other small scale rural development in line with the government guidance.

There are some subtle differences in wording between CELPS Policy EG 5 and the NPPF/SADPD Policy RET 3 in relation to impact and sequential tests.

Under the NPPF and SADPD RET 3, there is no requirement for an impact test for out of centre office development so it is considered that the applicant's basic summary of the matter is sufficient to address the need for an impact test. The LPS Policy on this matter seems to be out of line with the Framework and the subsequent SADPD Policy.

Similarly, under the NPPF and SADPD RET 3, an allocated out of centre site is not sequentially preferable to an unallocated out of centre site (it is just that an allocated out of centre site wouldn't itself be subject to the sequential test). The wording of CELPS Policy EG 5 is quite ambiguous as to whether an allocated out of centre site is sequentially preferable to a non-allocated one, but even if that is what it means, then it is out of line with the NPPF and subsequent SADPD policy. On that basis, it is also considered the applicant's brief look at allocated sites for the sequential test is also sufficient.

As such the proposal accords with Policies RET5 of the SADPD.

Landscape

The application has been supported by a Landscape and Visual Appraisal report which advises that the landscape can accommodate the proposal with only a minor/moderate impact.

This has been assessed by the Council's Landscape Officer who objections advising that the application proposes unacceptable landscape effects.

The Landscape Officer concurs with the previous landscape comments for the previous refusal, which is a very similar application to this one regarding scope, scale, context and impacts, planting mitigation. Having reviewed the relevant plans and documents, and makes the following additional comments.

A winter site visit was carried out to assess the site and the existing/proposed landscape capacity to mitigate the development impacts.

It must be noted that Units 4, 5 and 6 are quite close to an existing highway, a public house, a busy part rural roundabout and a business park.

The proposals rely in part on existing deciduous trees and hedges to help screen the proposals. The proximity to these green infrastructure elements of the buildings means that in summer months the proposals will be more than likely seen above the hedges, through branches both close up and somewhat afar. But something not really stressed enough in the application is the visibility in winter months through said deciduous trees and hedges into the site, especially from footpaths and the public house which will further lead to an 'urbanising effect' of what is currently an open field. In the darker months the buildings with internal estate lighting will undoubtedly create a illumination effect upon the visual impacts, thus even in the darker hours the proposal

will probably glint, maybe shine through the deciduous trees and hedges, from what at present is a darkened field drastically altering the night time character.

The suggested tree proposals within carpark areas are a little on the light side leading to large areas of open hardstanding's/parking' Forming a weak designed car park landscape scheme with regards to mitigation visually and as a quality space. There are also limited spaces for outside enjoyment in a quality landscape setting say at lunch time. There are no every green trees listed in the 'Tree Planting' table to assist winter month visual affects. The scheme relies only on 46 holly bushes within the hedgerows for evergreen screening. There are substantial beech hedgerows proposed along the 'front' of the development very close to the buildings leading to the presumption they will be in practical terms maintained below the eaves heights of the buildings and more than likely no more than 2-3m which will not massively reduce the visual impacts of the facades. Especially beyond from important receptors such as the public house, footpaths and roads. C4 visualisations demonstrate these impacts on image page 28 (see doc 17021-C4P-XX-XX-RP-A-0001_DAS ver P1).

A change from a field to a built-up business park on this site, if viewed from the many positions around the area, from various receptors is in view of the Council's Ecologist more than that of 'Not Significant'. He considers these will be quite perceptible changes in the viewpoints even after 15 years, especially in the winter months, so disagrees with the findings of the submitted LVIA. The proposals are therefore considered to result in a perceptible urbanising effect and will be significantly visible. They are certainly not hidden from public view after 15 years.

This proposal is therefore contrary to policies Policy PG6 (Open Countryside), SE2 (Efficient Use of Land) and SE4 (Landscape) & ENV3 & ENV5 of the SADPD.

Ecology

Bats

The submitted Ecological Survey & Assessment report (ERAP, June 2020) identified the trees known as T13, T16 and T17 as offering potential for roosting bats. It appears from the site masterplan that these trees will be retained. Should this change bat surveys of any of the impacted trees will be required.

Breeding Birds

If planning consent is granted, the Council's Ecologist requires a condition preventing removal of vegetation between 1st March and 31st August in any year to protect nesting birds.

Hedgerow

Hedgerows are a priority habitat and hence a material consideration. If planning consent is granted The Council's Ecologist recommends a landscape condition be attached that includes the retention and enhancement of existing hedgerow where possible, and compensatory native species planting to compensate for any sections of hedgerow unavoidable loss.

Wildlife sensitive lighting

In accordance with the BCT Guidance Note 08/18 (Bats and Artificial Lighting in the UK), prior to the commencement of development details of the proposed lighting scheme should be submitted to and approved in writing by the Local Planning Authority.

Ecological Enhancement

Local Plan Policy SE 3(5) requires all developments to aim to positively contribute to the conservation of biodiversity. This planning application provides an opportunity to incorporate features to increase the biodiversity value of the final development in accordance with this policy. The Councils Ecologist therefore recommends that if planning permission is granted a condition should be attached which requires the submission of an ecological enhancement strategy.

Therefore any impact to ecology can be suitably mitigated by conditions and complies with Policy SE3 of the CELPS, ENV1, ENV2 of the SADPD.

Trees

Policy SE 5 of the LPS and ENV6 of the SADPD require that retained trees should be successfully integrated into the development design and take into account the ultimate mature size of trees and their relationship to buildings and private amenity space to avoid future conflict with residential amenities.

The application site benefits from established tree cover to the boundaries of the western side of the site. The trees make an important contribution to the amenity of the area and are considered to be former field boundary trees as indicated on the 1875 Ordnance Survey map of the area. The trees are visible from the Nantwich Bypass A51 and Middlewich Road A530.

The application has been supported by an Arboricultural Constraints Appraisal and Arboricultural Impact Assessment.

The AIA has identified that three U category trees will be removed regardless of the proposal. Three C category hawthorn (T8, T9 & T10,) two of which are sited outside the site edged red, and hedgerow H1 will be removed to accommodate the development; all other trees are shown to be retained. Trees T13, T16, T17, and T18 Oak have been surveyed as B category trees and it is considered that they have important collective value as a group.

Revised plans and an updated Arboricultural Impact Assessment by Bowland Tree Consultancy Ltd dated August 2020 (Rev A) have been submitted. The proposal has moved Unit 4 approximately 2.5 metres to the south and a little over 2 metres to the east which has moved the direct impacts associated with construction of the proposal to just outside the root protection areas of the trees. Revised drainage detail has not been submitted but if it were placed at 1.8 metres to the west of the elevation of Unit 4 as indicated in the original plans, this would still arise in excavations within the root protection areas of retained trees.

Notwithstanding this, the above ground relationship of B category trees T17 and T18 is still considered close, does not allow for future growth, is likely to require regular maintenance to

maintain an acceptable clearance and to arise in issues of shading and reduced light levels to the west facing glazed units of the unit.

The amount of hard surfacing within the root protection areas of retained trees has been slightly reduced to accord with best practice and it's noted that both H1 and H2 are now shown to be retained with just 7 metres removed from H1 to facilitate access to the adjoining field.

The site layout as amended does represent an improvement on the original submission and is now considered to be defensible in terms of trees.

As such the proposal complies with SE 5 of the CELPS and ENV6 of the SADPD

Design

Policy SE1 (Design) of the CELPS states that development proposals should make a positive contribution to their surroundings.

The design/appearance of the units are not untypical of modern office developments with large, glazed areas to all elevations. When assessed on their own they are not considered to cause any significant harm to the mixed-use character of the immediate area.

However, the siting of units 1 and 2 in close proximity to the northern boundary would result in a greater visual impact when viewed from the wider setting and would appear cramped to the northern boundary.

Given that this site is within the open countryside and backs onto further open countryside, this boundary is very visually sensitive, therefore the buildings should be set away from this boundary and consideration given to the landscaping of this boundary to provide a visual screen to ensure a smooth rural transition. As it stands the site also appears overdeveloped with large areas of hard surfacing and not much room left to secure any meaningful landscaping.

Highway Safety

Access

As indicated, the current access is unadopted and is a 5.5m wide carriageway and no footway provision on both sides of the road. There is one access point to the development, this serves the internal parking areas, sufficient visibility is available at the access.

As part of the development, a new 2m footway is proposed on the development side of the access linking the site to the existing footway/cycle provision at the Alvaston roundabout. Whilst the provision of the footway is welcomed this should be a 3.0m shared ped/cycle footway at least up to the site access point.

Parking Provision

The total number of parking spaces is 153 spaces which includes 19 disabled spaces, there are no electric charging spaces currently indicated. Applying CEC standards the recommended number of spaces is 188 for a B1 office development of this size, the applicant has submitted

a Trics parking accumulation assessment to indicate that 153 spaces is sufficient for the B1 office use.

There are 21 cycle parking spaces proposed for the site which is in excess of CEC cycle standards.

Development Traffic Impact

The traffic generated by the proposals have been based upon the Trics database for traffic generated by similar business parks. The development is expected to generate 80 two-way trips (worse case) in the am peak.

It is recognised that there are existing peak capacity problems at the Alvaston Roundabout with some arms experiencing very long queues. CEC have identified Alvaston roundabout as requiring improvement and have considered a range of alternative options to increase the capacity of the roundabout. A number of schemes have been shortlisted and these are detailed below:

Option 2/3: Part signalisation with A530 to A51 South filter lane;

Option 5: Fully signalised roundabout; and

Option 9: Wider approaches only.

Although there have been contributions secured from other developments for Alvaston roundabout further funding is required for the improvement works. Although, the peak hour generation is relatively low there would still be over 500 daily trips to and from the site and the highway authority would not wish to see any extension in queues or congestion at the roundabout. The applicant has confirmed that the roundabout will be operating at over capacity levels in 2025 with development added and with extensive queues on some arms.

Given that this development has a direct impact onto the Alvaston roundabout it should provide funding towards the improvements at this junction and a contribution of £80,000 is required.

Summary

The site is accessed from the Alvaston roundabout via an existing private access road. The level of parking proposed for the office use is appropriate and would not likely lead to overspill parking problems on the adopted highway road network.

Improvements to connectivity have been proposed although these should be enhanced by the provision of shared pedestrian/cycleway that connects to the existing facilities at the Alvaston roundabout.

Alvaston roundabout has existing problems with capacity and this leads to queuing and congestion, the development does have a direct impact on the junction and as such it should contribute to planned improvements via a S106 contribution.

There are no objections raised subject to a S106 contribution and conditions.

The proposal is therefore considered to comply with Policy SD1 & CO2 of the CELPS, INF3 of the SADPD.

Flooding & Drainage

The site lies within a Flood Zone 1. Therefore, if the site area is 1 hectare or more in size a Flood Risk Assessment (FRA) would be required to accompany any subsequent planning application.

An FRA has been provided which concludes that the development will provide betterment compared to the existing situation with acceptable consequences for flooding.

The Council's Flood Risk Team have been consulted and have raised no objection subject to condition requiring a drainage strategy.

United Utilities have also been consulted and have also raised no objection subject to conditions regarding foul and surface water drainage and a SUDS.

Therefore drainage/flood risk issues could be addressed by conditions and as such the proposal complies with Policy SE13 of the CELPS & ENV 16 of the SADPD.

Economic & Social role

There are economic benefits to be derived from the construction of the commercial units in terms of boost to the economy and job creation during construction and employment from use of the offices.

Amenity

With regards to neighbouring amenity, Policy HOU12 advises development proposals must not cause unacceptable harm to the amenities of adjoining or nearby occupiers of residential properties, sensitive uses, or future occupiers of the proposed development due to:

1. loss of privacy;
2. loss of sunlight and daylight;
3. the overbearing and dominating effect of new buildings;
4. environmental disturbance or pollution; or
5. traffic generation, access and parking.

Policy HOU13 sets standards for spacing between windows of 18m between front elevations, 21m between rear elevations or 14m between habitable to non habitable rooms. For differences in land levels it suggests an additional 2.5m for levels exceed 2m.

In this instance the site appears to be sited over 150m away from the nearest residential properties. This distance would appear sufficient to prevent any visual intrusion from the proposed buildings or noise/disturbance from their eventual use.

Therefore, the proposal would not have an adverse impact on residential amenity and as a result complies with Policies HOU12 and HOU13 of the SADPD.

Agricultural Land

Policies SE2, SD1 and SD2 advise that development should safeguard natural resources including high quality agricultural land.

The National Planning Policy Framework highlights that the use of such land should be taken into account when determining planning applications. It advises local planning authorities that, 'significant developments' should utilise areas of poorer quality land (grades 3b, 4 & 5) in preference to higher quality land.

In this instance no report has been provided in which to assess the agricultural land quality or to consider the ability of the site to fulfil any agricultural purpose, nor has any justification been given to justify the loss of the agricultural land or evidence of any overriding need for employment development to justify its loss.

Planning Balance

The site lies within the open countryside within which Policy PG6 of the Cheshire East Local Plan (CELPS) only permits certain forms of new development. However, the erection of new commercial units is not one of these exceptions. The proposal also seeks the provision of some 1.1ha of employment land in addition to the substantial amounts already provided for in the adopted LPS with no justification/need/lack of other sites demonstrated.

It is not considered therefore that the proposal has justified/requires an open countryside location and is not considered to be sited in the right location contrary to Policies EG1, EG2, EG3 of the CELPS and RUR10 of the SADPD.

The site is also not allocated for any development within the Site Allocations Development Policies Document (SADPD) and is shown as remaining within the open countryside.

As a result the proposal would represent a departure from the Local Plan and should not be approved unless material considerations indicate otherwise.

In this case, the development would provide positive planning benefits such as economic benefits during the construction phase and economic and social benefits associated with the proposed use.

Balanced against these benefits must be the dis-benefits, which in this case would be the loss of open countryside, the visual harm by developing a site that is currently free from development and the loss of agricultural land.

The Impact of the proposals on ecology, flood risk, highways would be neutral.

As a result, on balance the benefits are not considered to outweigh the dis-benefits and there do not appear to be any material considerations which outweigh the harm caused. Therefore, the proposal should be refused.

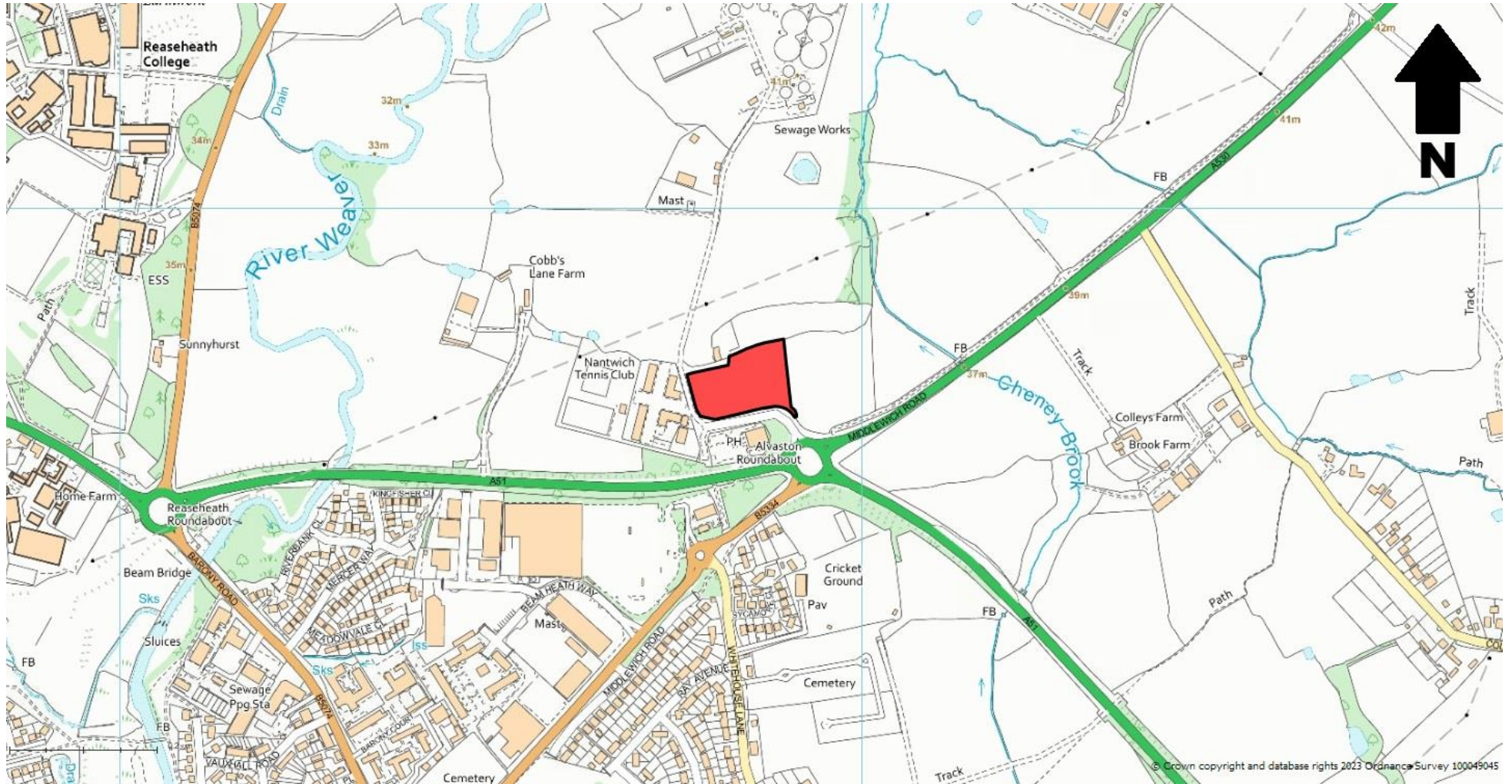
RECOMMENDATION:**REFUSE for the following reasons:**

1. The proposed development is not an appropriate form of development in the open countryside as per Policy PG6 nor does not fall within any of the exceptions listed in this policy and thus constitutes an unwarranted form of development in the open countryside. This would result in an urban encroachment into the open countryside which would harm the character and appearance of the area and the landscape. The proposal does not justify this open countryside location and is not considered to be sited in the right location. The proposal has not been supported by sufficient information regarding the agricultural land grading and no justification has been provided for the loss agricultural land or evidence provided of any overriding need for employment land to warrant its loss. The proposal is contrary to Policies PG1 (Overall Development Strategy) PG2 (Settlement Hierarchy), PG6 (Open Countryside), PG2 (Settlement Hierarchy), PG7 (Spatial Distribution), SD1 (Sustainable Development in Cheshire East) and SD2 (Sustainable Development Principles), SE2 (Efficient Use of Land), EG1 (Economic Prosperity), EG2 (Rural Economy), EG3 (Existing and Allocated Employment Sites) of the CELPS & RUR10 of the SADPD and the principles of the National Planning Policy Framework, which seek to ensure development is directed to the right location and open countryside is protected from inappropriate development and maintained for future generations enjoyment and use. As such it creates harm to interests of acknowledged importance.

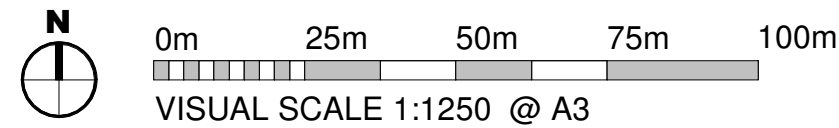
Should the application be subject to an appeal, the following Heads of Terms should be secured as part of any S106 Agreement:

S106	Amount	Triggers
Highways	Contribution of 80k towards junctions improvements at the Alvaston roundabout	50% Prior to first use 50% at occupation of 3rd Unit

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions/informatives/planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Southern Planning Committee, provided that the changes do not exceed the substantive nature of the Committee's decision.



22/0720N
LAND NORTH OF
ALVASTON ROUNDABOUT
MIDDLEWICH ROAD
NANTWICH



Drawing Status

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⚠ Hazard Identification		
ref	hazard	date
1.	Overhead powerlines to NE corner of site	17.06.20

P1	Planning Issue	AR	18.06.20	GE
Rev	Revision Details	Drawn	Date	Check

C4

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Client

BLOK (UK) Ltd

Project

Middlewich Road Business Park,
Nantwich

Drawing Title

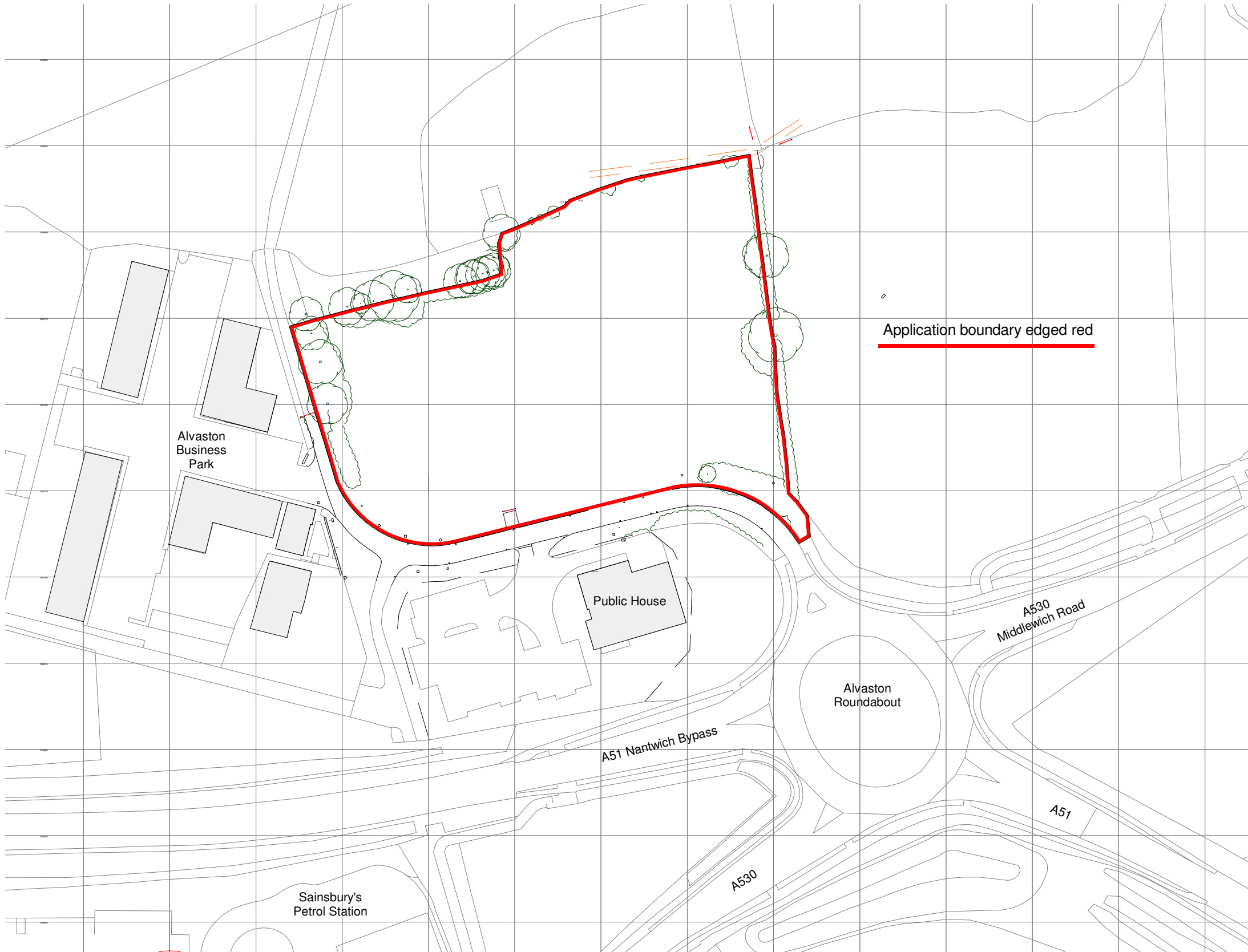
Site - Location Plan

Status Purpose of Issue

S4 SUITABLE FOR STAGE APPROVAL

Drawn by	AR	Created	June 2020
C4 Job no.	17021	Scale	1 : 1250 @ A3

Drg no.	Rev
17021-C4P-AV-XX-DR-A-0100	P1



Site Location Plan
1 : 1250



Existing Site Layout
1 : 250

Drawing Status

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Hazard Identification

ref	hazard	date
1.	Overhead powerlines to NE corner of site	17.06.20

DEVELOPMENT KEY

Applicant land & application boundary

Applicant land ownership boundary

Proposed Building

Existing Building

Note: Existing Topograpy indicated as provided by JLP Surveying drawing ref: S20-382 (01.02.2020)

P1

Planning Issue

AR

18.06.20

GE

Rev

Revision Details

Drawn

Date

Checked

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Middlewich Road Business Park, Nantwich

Drawing Title

Site - Existing Layout Plan

Status Purpose of Issue

S4 SUITABLE FOR STAGE APPROVAL

Drawn by

GE

Created

June 2020

C4 Job no.

17021

Scale

As indicated

@ A1

Drg no.

17021-C4P-AV-XX-DR-A-0101

Rev

P1



Proposed Site Masterplan
1 : 250

0m5m10m15m20m

VISUAL SCALE 1:250 @ A1

N

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Hazard Identification

ref

hazard

date

1.

Overhead powerlines to NE corner of site

17.06.20

Note: Soft landscaping treatment shown indicatively refer to Landscape Architect scheme for detailed proposals

Site Area Schedule		
Name	Area	
	Sq.m	Acres
planning	11051.71 m²	2.73 acres

Parking Schedule	
Description	Count
Standard car parking bay	134
Disabled parking bay	19
TOTAL: 153	153

Area Schedule (GEA)			
Level	Name	Area	
		Metric	Imperial
Unit 1			
Level 0	GF GEA	499.43 m²	5,376 ft²
Level 1	FF GEA	499.43 m²	5,376 ft²
2		998.87 m²	10,752 ft²
Unit 2			
Level 0	GF GEA	499.44 m²	5,376 ft²
Level 1	FF GEA	499.44 m²	5,376 ft²
2		998.87 m²	10,752 ft²
Unit 3			
Level 0	GF - GEA	372.31 m²	4,007 ft²
Level 1	FF - GEA	372.31 m²	4,007 ft²
2		744.61 m²	8,015 ft²
Unit 4			
Level 0	GF - GEA	738.00 m²	7,944 ft²
Level 1	FF - GEA	738.00 m²	7,944 ft²
2		1,475.99 m²	15,887 ft²
Unit 5			
Level 0	GF - GEA	448.74 m²	4,830 ft²
Level 1	FF - GEA	448.74 m²	4,830 ft²
2		897.47 m²	9,660 ft²
Unit 6			
Level 0	GF - GEA	258.55 m²	2,783 ft²
Level 1	FF - GEA	258.55 m²	2,783 ft²
2		517.09 m²	5,566 ft²
TOTAL: 12		5,632.91 m²	60,632 ft²

P1 Planning Issue	AR 18.06.20	GE
Rev Revision Details	Drawn	Date Checked

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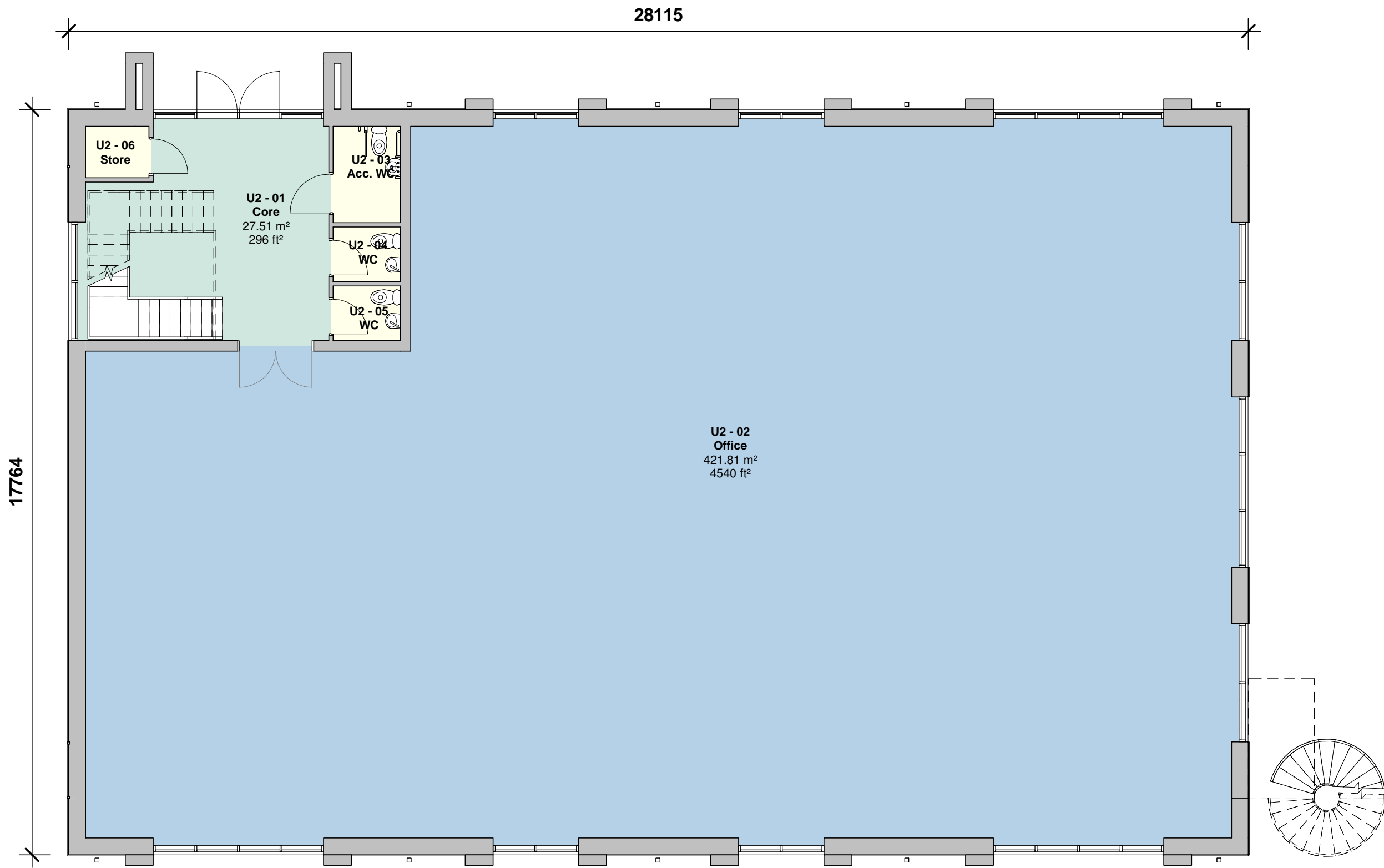
Project
Middlewich Road Business Park, Nantwich

Drawing Title
Site - Proposed Masterplan

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by	AR	Created	June 2020
C4 Job no.	17021	Scale	As indicated @ A1

Drg no.	Rev
17021-C4P-AV-XX-DR-A-0501	P1

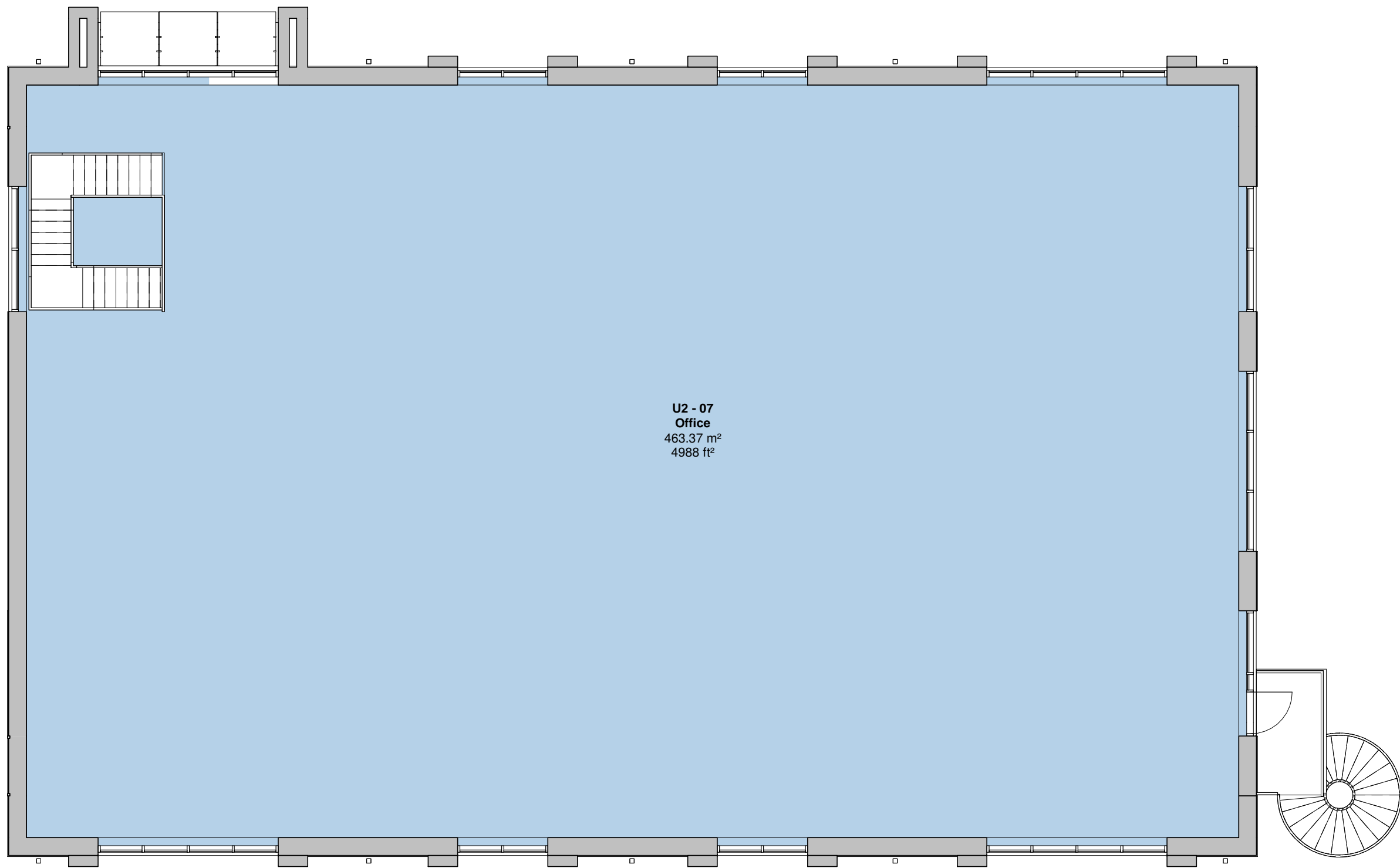


Plan Key

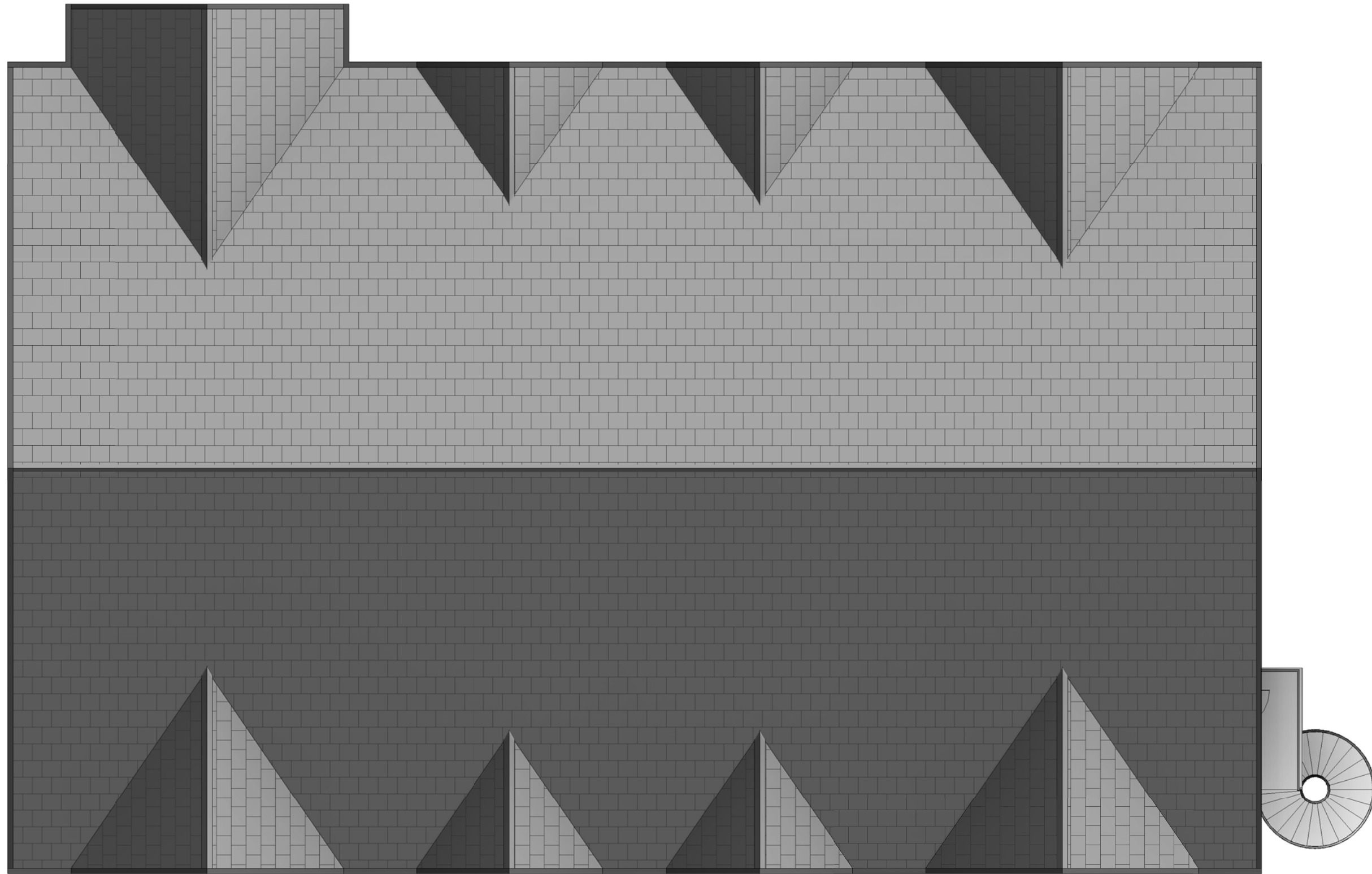
- Core
- Office
- Ancillary

Area Schedule (GIA)				
Number	Name	Area		
		Metric	Imperial	
Level 0				
Unit 2	GF GIA	463.37 m²	4,988 ft²	
1		463.37 m²	4,988 ft²	
Level 1				
Unit 2	1F GIA	463.60 m²	4,990 ft²	
1		463.60 m²	4,990 ft²	

1 Proposed Ground Floor Plan
1 : 100



2 Proposed First Floor Plan
1 : 100



3 Proposed Roof Plan
1 : 100



0m 2m 4m 6m 8m
VISUAL SCALE 1:100 @ A1

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Hazard Identification

ref

hazard

date

P1	Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date	Checked

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Client
BLOK (UK) Ltd

Project
Middlewich Road Business Park,
Nantwich

Drawing Title
Unit 2 - Proposed GA Plans

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by	AR	Created	June 2020
C4 Job no.	17021	Scale	1 : 100 @ A1

Drg no.	Rev
17021-C4P-U2-ZZ-DR-A-2001	P1

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Hazard Identification		
ref	hazard	date



Elevation B
1 : 100



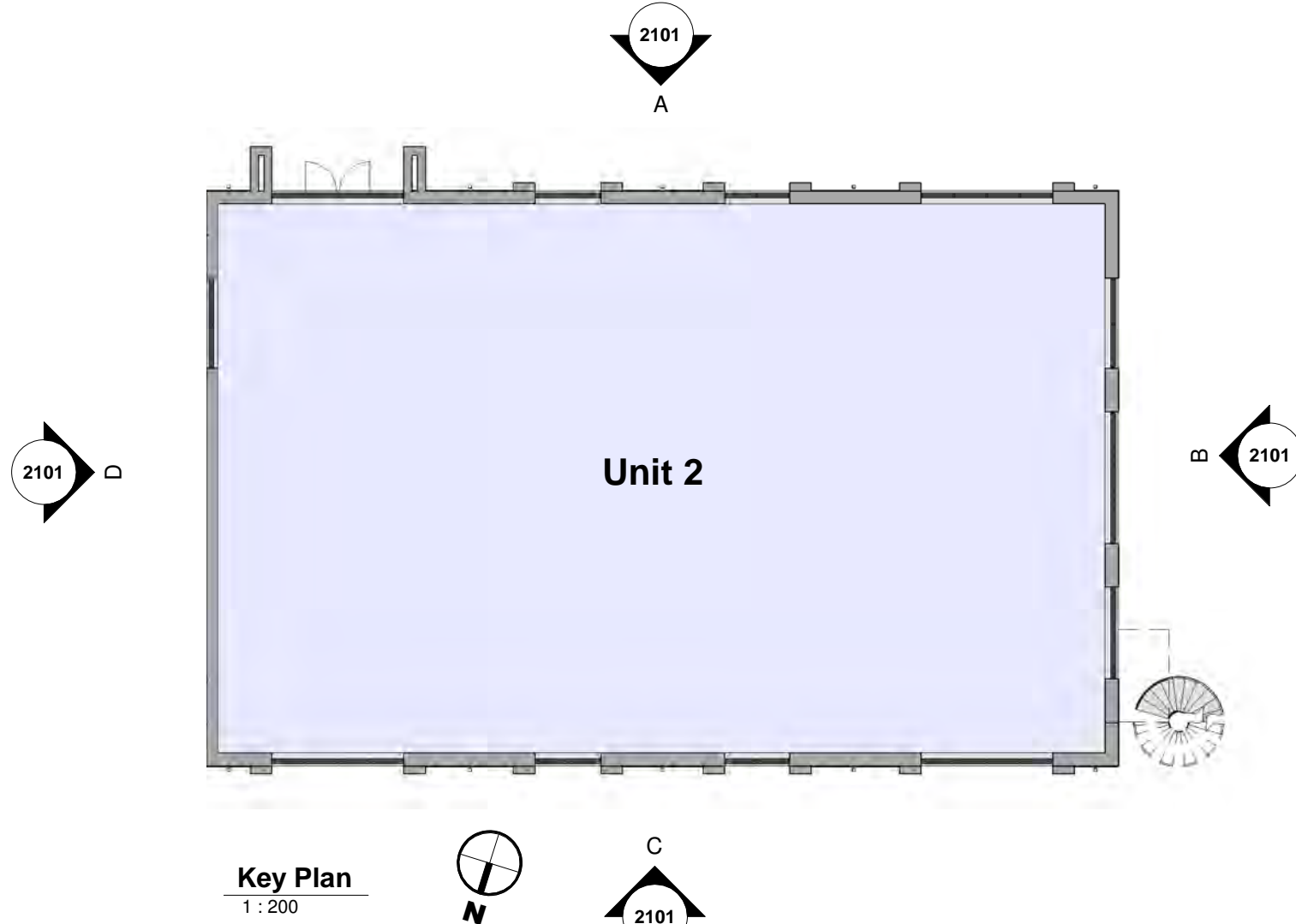
Elevation D
1 : 100



Elevation A
1 : 100



Elevation C
1 : 100



Key Plan
1 : 200

Building Envelope Materials Key	
Number	Material
01	Cheshire Red multi-blend brickwork in 'Stretch' bond with coloured mortar joints.
02	Black / Charcoal brickwork to Entrance & Feature piers in 'Stretch' bond with coloured mortar joints.
03	Black / Charcoal brickwork to Feature bands in 'Stretch' bond with coloured mortar joints.
04	Escola Grey slate to pitched roofs or similar approved.
05	Western Red Cedar timber cladding, vertical plank format in natural finish.
06	Rainwater goods, stepped profile fascia gutters and barge boards in PPC Aluminium (Dark Grey) finish.
07	Curtain Walling system, PPC Aluminium (Dark Grey) framing with double glazed infill units.
08	Glazed Entrance doors integrated and matched with Curtain Walling system.
09	Glazed Canopy over entrances, steel support T-section arms on cross rails in painted finish (Dark Grey).
10	Spiral Escape metal staircase, bespoke specialist design, galvanised finish throughout.

P1	Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date	Checked

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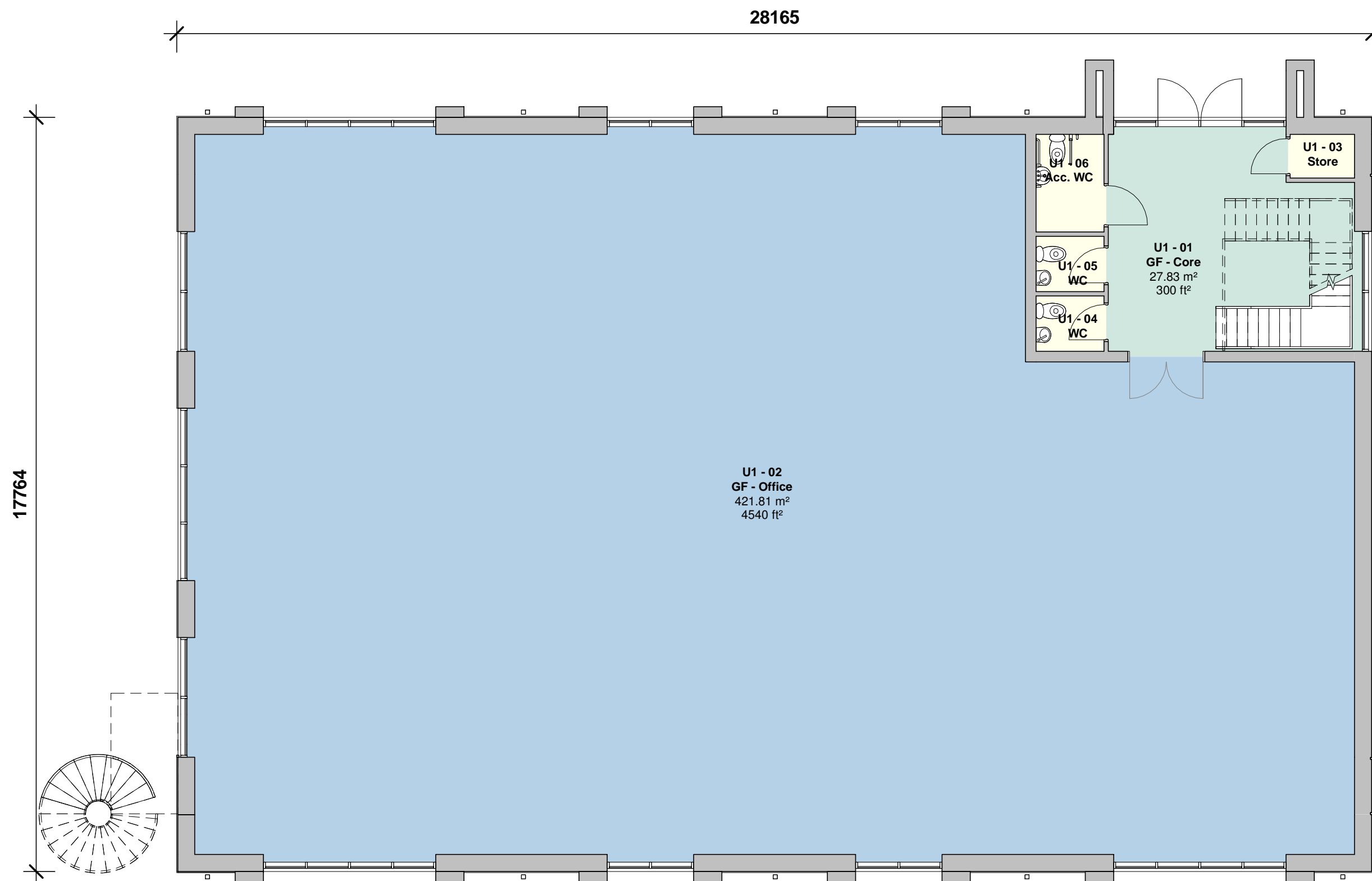
Project
Middlewich Road Business Park,
Nantwich

Drawing Title
Unit 2 - Elevations as Proposed

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by	VV	Created	June 2020
C4 Job no.	17021	Scale	As indicated @ A1

Drg no.	Rev
17021-C4P-U2-ZZ-DR-A-2101	P1



1 Proposed Ground Floor Plan
1 : 100

Plan Key

- Core
- Office
- Ancillary

Area Schedule (GIA)			
Number	Name	Area	
		Metric	Imperial
Level 0			
Unit 1	GF GIA	463.37 m²	4,988 ft²
1		463.37 m²	4,988 ft²
Level 1			
Unit 1	1F GIA	463.37 m²	4,988 ft²
1		463.37 m²	4,988 ft²



0m 2m 4m 6m 8m
VISUAL SCALE 1:100 @ A1

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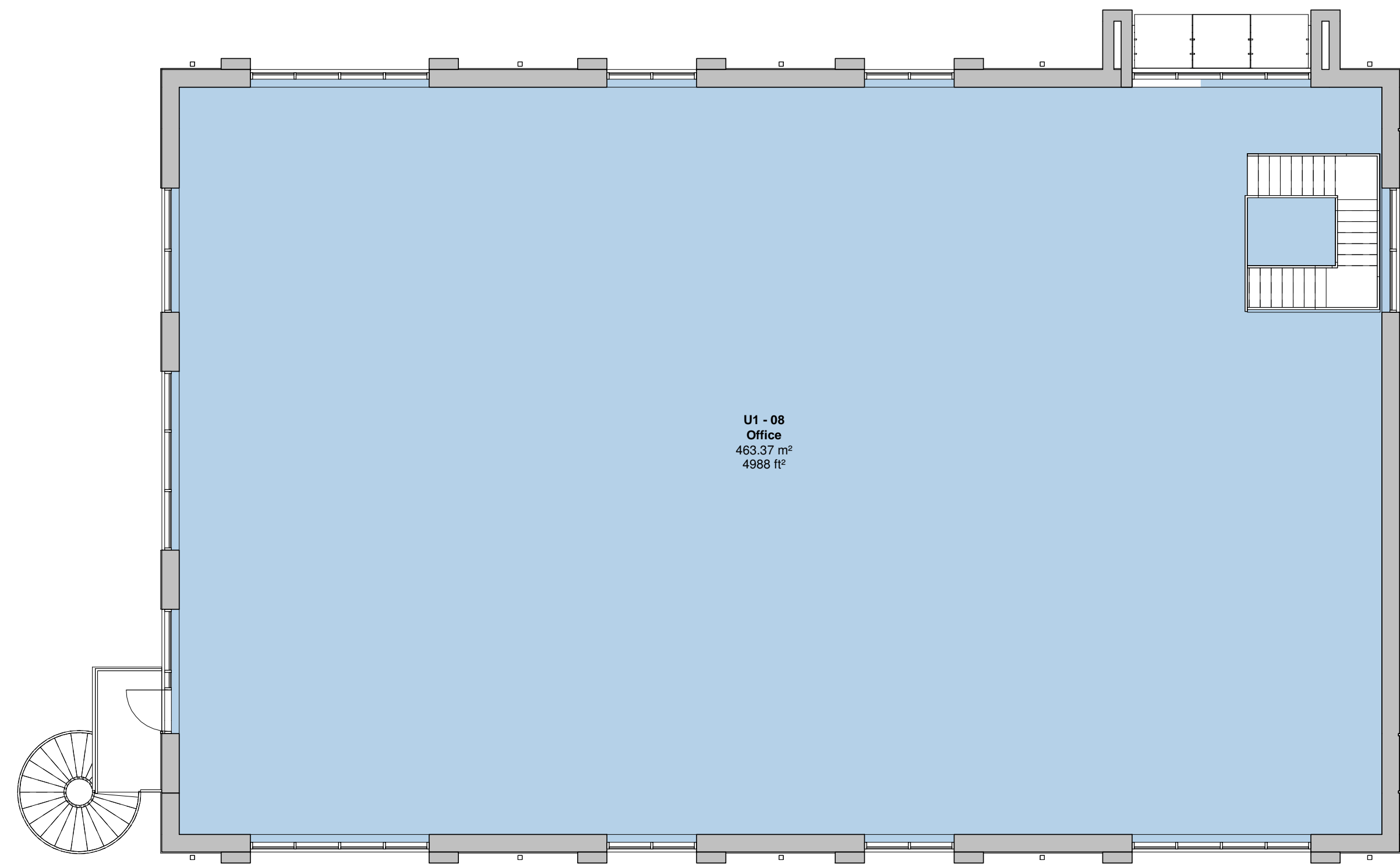
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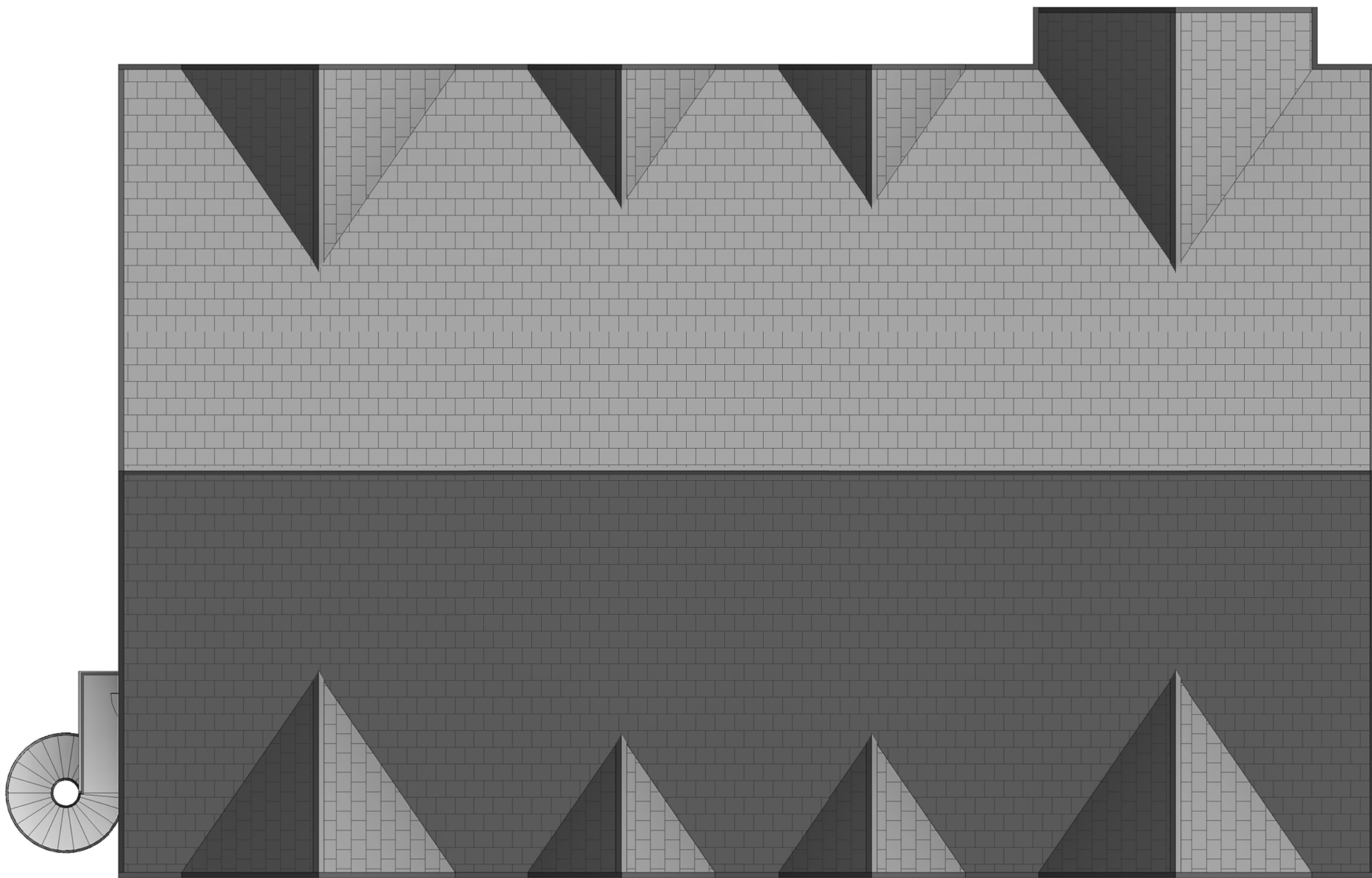
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Hazard Identification		
ref	hazard	date



2 Proposed First Floor Plan
1 : 100



3 Proposed Roof Plan
1 : 100

P1	Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date	Checked

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Client
BLOK (UK) Ltd

Project
Middlewich Road Business Park,
Nantwich

Drawing Title
Unit 1 - Proposed GA Plans

Status	Purpose of Issue			
S4	SUITABLE FOR STAGE APPROVAL			
Drawn by	AR	Created	June 2020	
C4 Job no.	17021	Scale	1 : 100	@ A1
Drg no.	17021-C4P-U1-ZZ-DR-A-2001	Rev	P1	



Elevation B
1 : 100



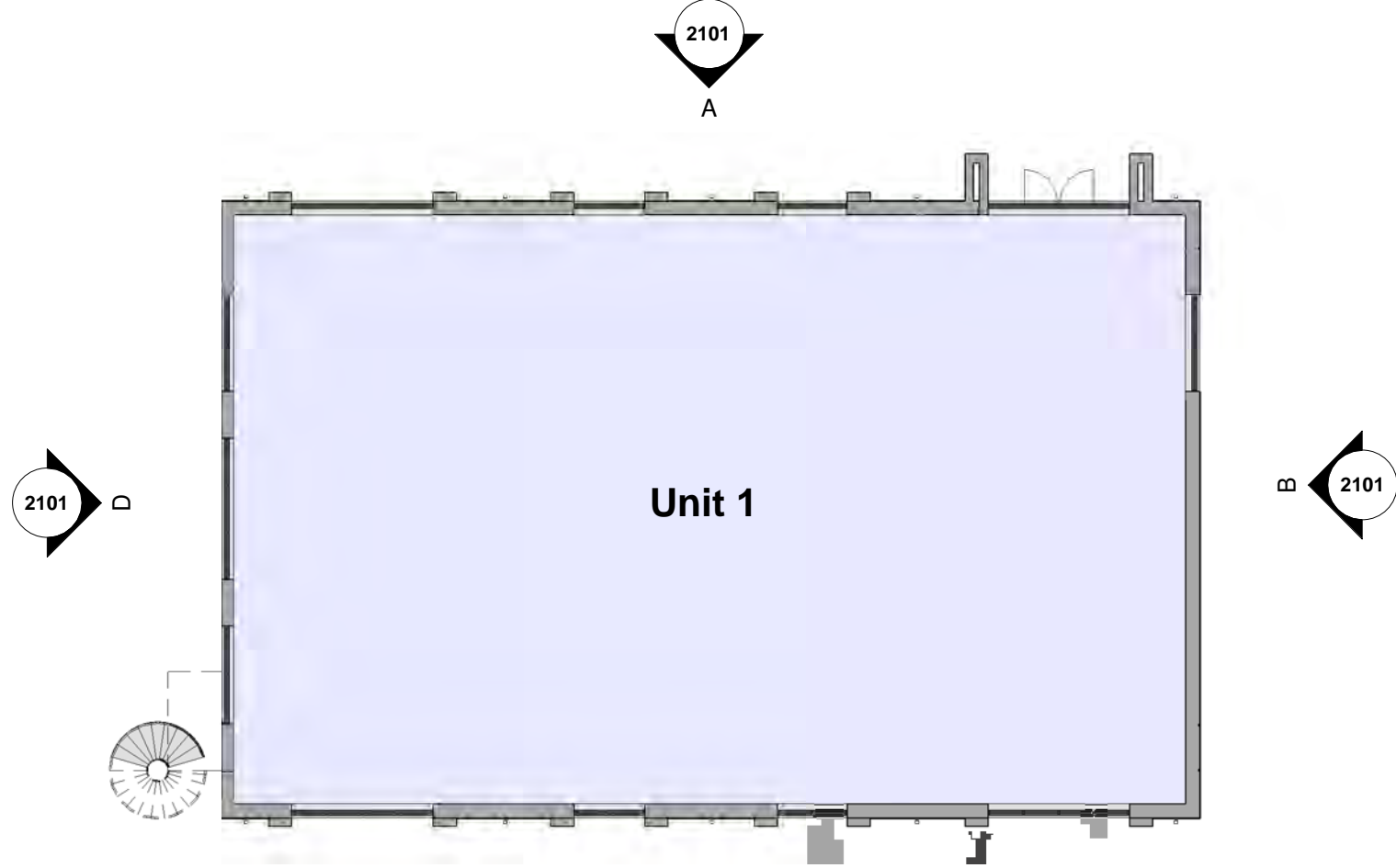
Elevation D
1 : 100



Elevation A
1 : 100



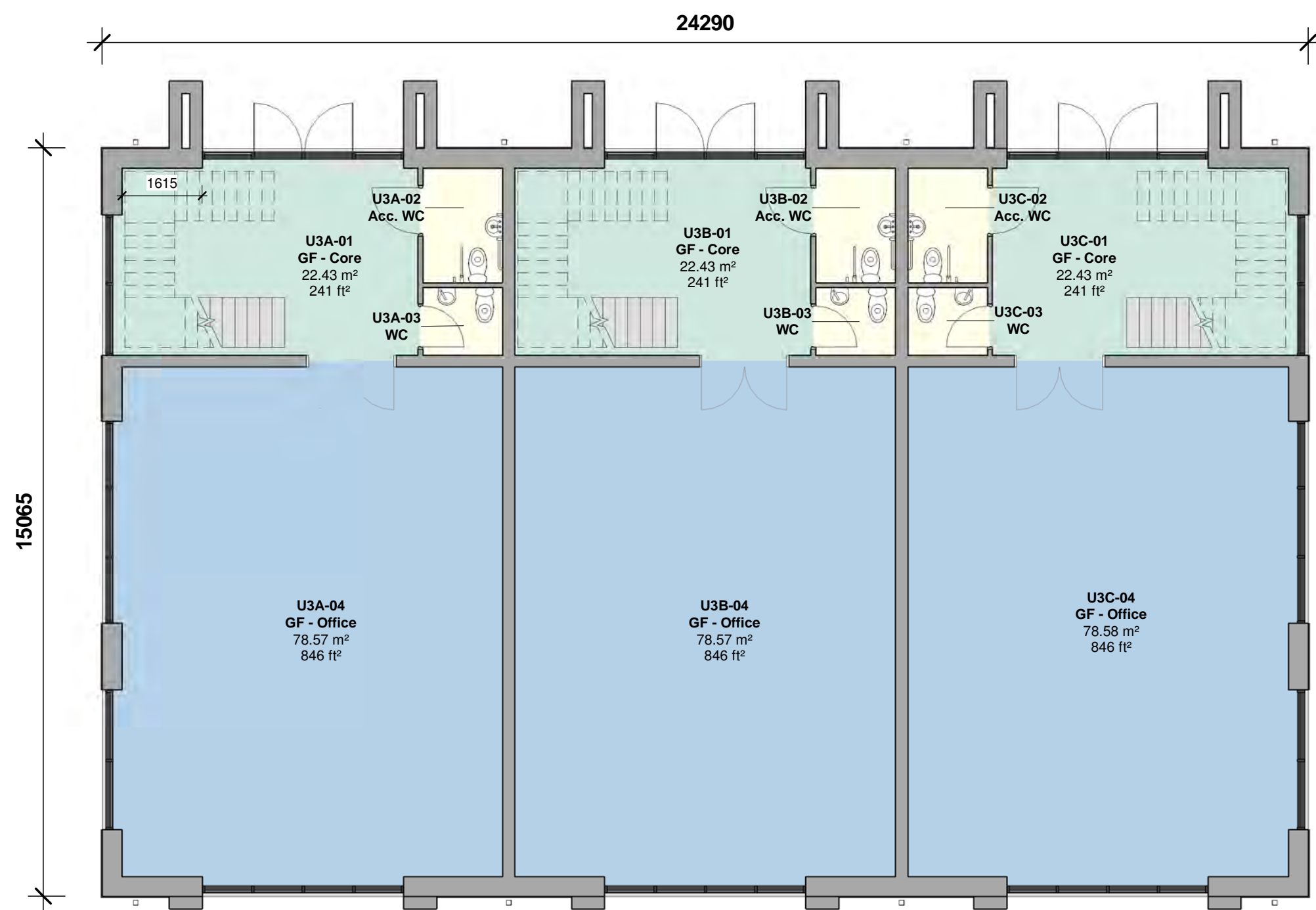
Elevation C
1 : 100



Key Plan
1 : 200

Building Fabric Materials Key	
Number	Material
01	Cheshire Red multi-blend brickwork in 'Stretcher' bond with coloured mortar joints.
02	Black / Charcoal brickwork to Entrance & Feature piers in 'Stack' bond with coloured mortar joints.
03	Black / Charcoal brickwork to Feature bands in 'Stretcher' bond with coloured mortar joints.
04	Escola Grey slate to pitched roofs or similar approved.
05	Western Red Cedar timber cladding, vertical plank format in natural finish.
06	Rainwater goods, stepped profile fascia gutters and barge boards in PPC Aluminium (Dark Grey) finish.
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08	Glazed Entrance doors integrated and matched with Curtain Walling system.
09	Glazed Canopy over entrances, steel support T-section arms on cross rails in painted finish (Dark Grey).
10	Spiral Escape metal staircase, bespoke specialist design, galvanised finish throughout.

P1	Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date	Checked



1 Proposed Ground Floor Plan
1 : 100

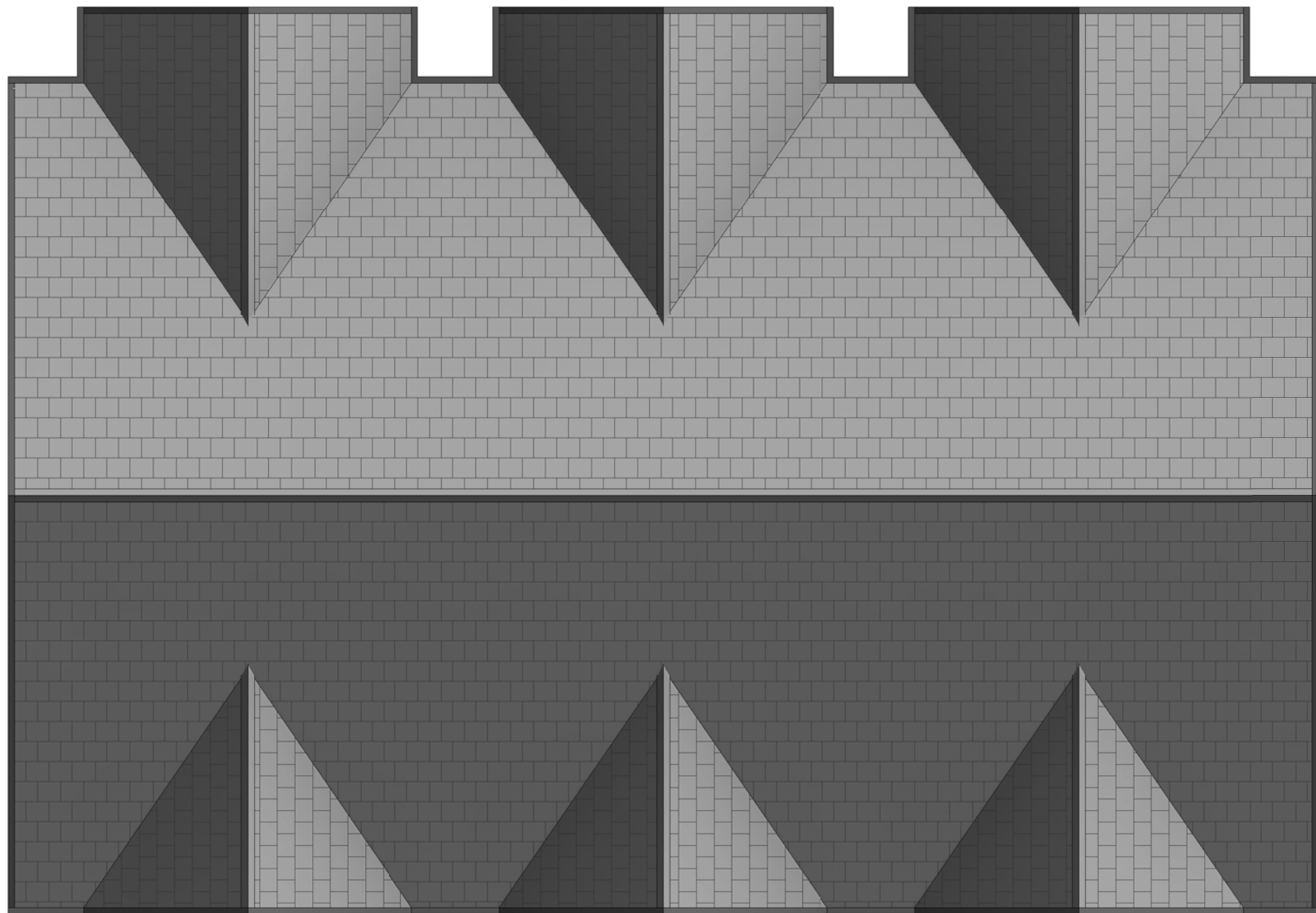
Plan Key

- Core
- Office
- Ancillary



2 Proposed First Floor Plan
1 : 100

Area Schedule (GIA)				
Level	Unit Name	Area		
		Metric	Imperial	
Level 0				
Level 0	Unit 3A	109.31 m²	1,177 R²	
Level 0	Unit 3B	109.33 m²	1,177 R²	
Level 0	Unit 3C	109.31 m²	1,177 R²	
3		327.95 m²	3,530 R²	
Level 1				
Level 1	Unit 3A	109.31 m²	1,177 R²	
Level 1	Unit 3B	109.31 m²	1,177 R²	
Level 1	Unit 3C	109.33 m²	1,177 R²	
3		327.95 m²	3,530 R²	



3 Proposed Roof Plan
1 : 100



0m 2m 4m 6m 8m
VISUAL SCALE 1:100 @ A1

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Hazard Identification

ref	hazard	date
-----	--------	------

P1	Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date	Checked



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Client

BLOK (UK) Ltd

Project

Middlewich Road Business Park,
Nantwich

Drawing Title

Unit 3 - Proposed GA Plans

Status Purpose of Issue

S4 SUITABLE FOR STAGE APPROVAL

Drawn by	AR	Created	June 2020
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C4 Job no.	17021	Scale	1 : 100 @ A1
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Drg no.	Rev
17021-C4P-U3-ZZ-DR-A-2001	P1

0m 2m 4m 6m 8m

VISUAL SCALE 1:100 @ A1

Drawing Status

PLANNING

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 Hazard Identification

ref	hazard	date
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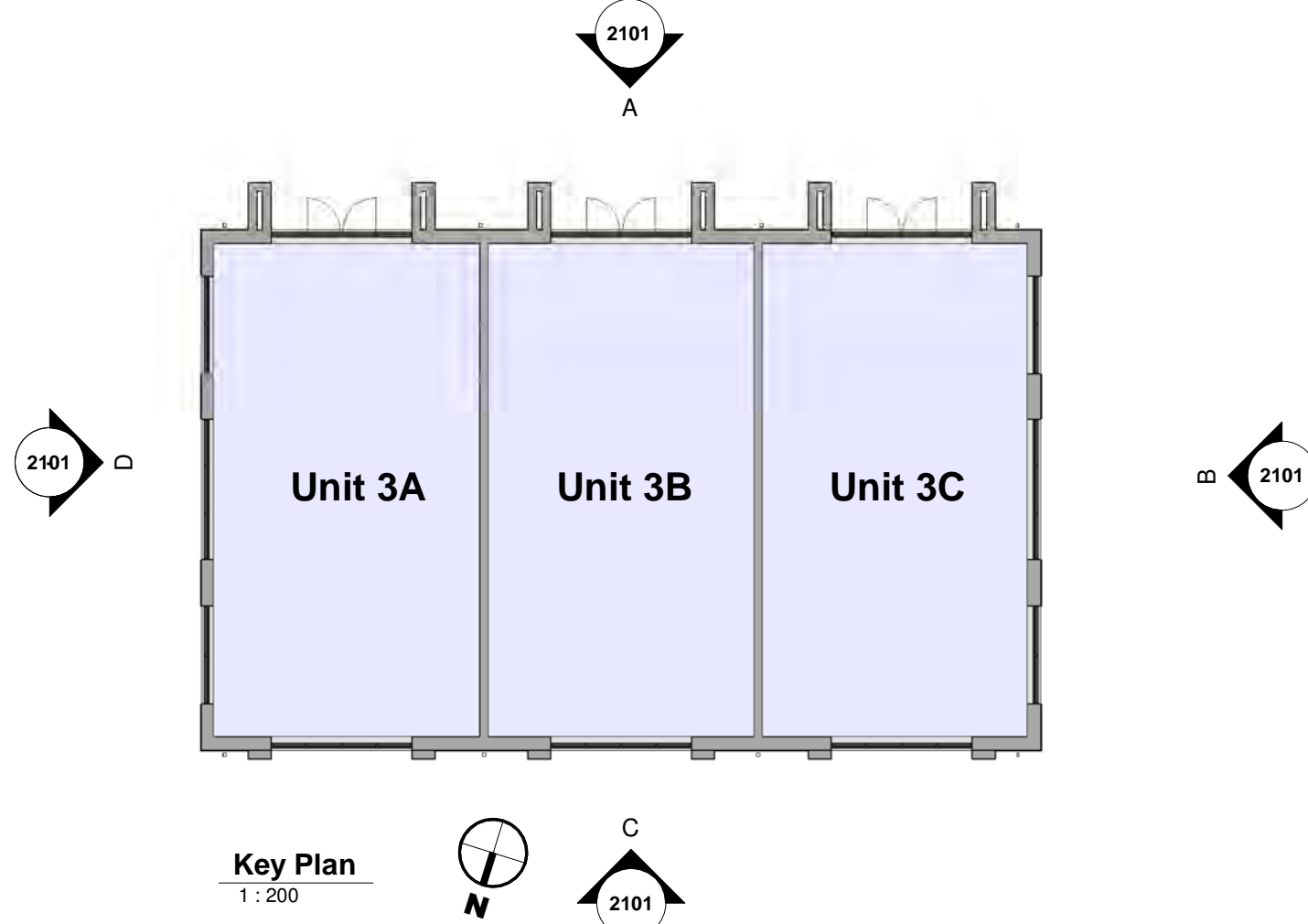
Elevation B
1 : 100



Elevation D
1 : 100



Elevation A
1 : 100



Key Plan
1 : 200



Elevation C
1 : 100

Building Envelope Materials Key	
Number	Material
01	Cheshire Red multi-blend brickwork in 'Stretcher' bond with coloured mortar joints.
02	Black / Charcoal brickwork to Entrance & Feature piers in 'Stack' bond with coloured mortar joints.
03	Black / Charcoal brickwork to Feature bands in 'Stretcher' bond with coloured mortar joints.
04	Escola Grey slate to pitched roofs or similar approved.
05	Western Red Cedar timber cladding, vertical plank format in natural finish.
06	Rainwater goods, stepped profile fascia gutters and barge boards in PPC Aluminium (Dark Grey) finish.
07	Curtain Walling system, PPC Aluminium (Dark Grey) framing with double glazed intill units.
08	Glazed Entrance doors integrated and matched with Curtain Walling system.
09	Glazed Canopy over entrances, steel support T-section arms on cross rails in painted finish (Dark Grey).

P1	Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date	Checked

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Client

BLOK (UK) Ltd

Project

Middlewich Road Business Park,
Nantwich

Drawing Title

Unit 3 - Elevations as Proposed

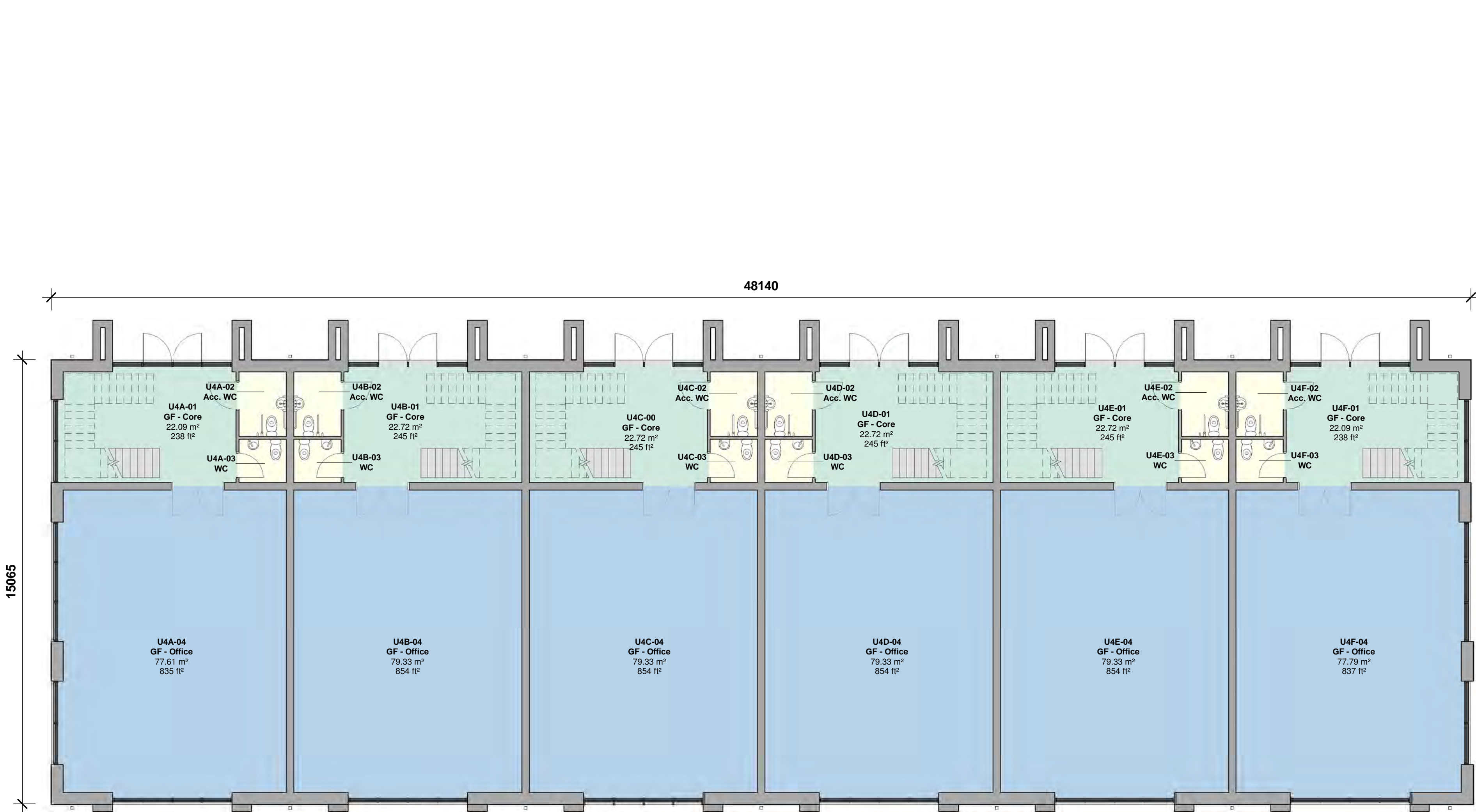
Status Purpose of Issue

S4 SUITABLE FOR STAGE APPROVAL

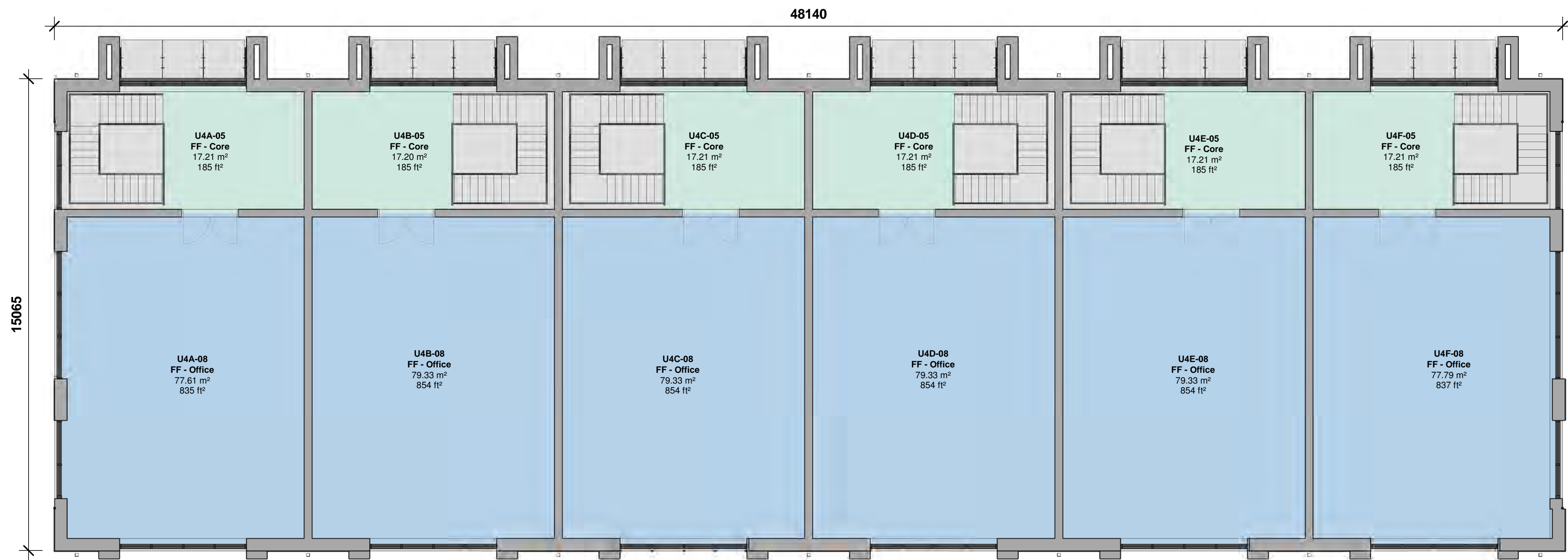
Drawn by	AR	Created	June 2020
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C4 Job no.	17021	Scale	As indicated	@ A1
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Dwg no.	17021-C4P-U3-ZZ-DR-A-2101	Rev	P1
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1 Proposed Ground Floor Plan
1 : 100

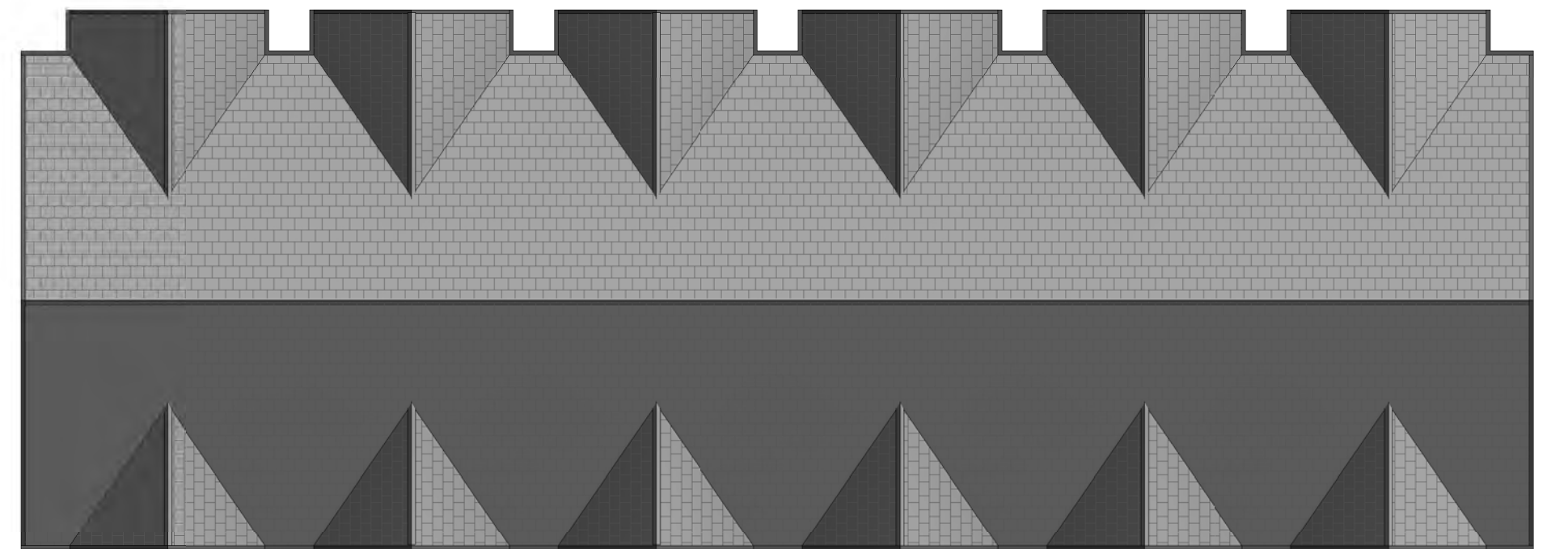


2 Proposed First Floor Plan
1 : 100

Plan Key

- Core
- Office
- Ancillary

Area Schedule (GIA)			
Level	Unit Name	Area	
		Metric	Imperial
Level 0			
Level 0	Unit 4A	107.99 m²	1,162 ft²
Level 0	Unit 4B	110.36 m²	1,188 ft²
Level 0	Unit 4C	110.36 m²	1,188 ft²
Level 0	Unit 4D	110.36 m²	1,188 ft²
Level 0	Unit 4E	110.36 m²	1,188 ft²
Level 0	Unit 4F	107.99 m²	1,162 ft²
6		657.47 m²	7,077 ft²
Level 1			
Level 1	Unit 4A	108.13 m²	1,175 ft²
Level 1	Unit 4B	110.36 m²	1,188 ft²
Level 1	Unit 4C	110.36 m²	1,188 ft²
Level 1	Unit 4D	110.36 m²	1,188 ft²
Level 1	Unit 4E	110.36 m²	1,188 ft²
Level 1	Unit 4F	107.99 m²	1,162 ft²
6		656.61 m²	7,089 ft²



3 Proposed Roof Plan
1 : 200

Drawing Status

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Hazard Identification

ref | hazard | date

P1	Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date	Checked

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Client
BLOK (UK) Ltd

Project
Middlewich Road Business Park,
Nantwich

Drawing Title
Unit 4 - Proposed GA Plans

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by	AR	Created	June 2020
C4 Job no.	17021	Scale	As indicated @ A1

Dwg no.	Rev
17021-C4P-U4-ZZ-DR-A-2001	P1



Elevation B
1 : 100



Elevation D
1 : 100



Elevation A
1 : 100



Elevation C
1 : 100

0m 2m 4m 6m 8m

VISUAL SCALE 1:100 @ A1

Building Envelope Materials Key	
Number	Material
01	Cheshire Red multi-blend brickwork in 'Stretcher' bond with coloured mortar joints.
02	Black / Charcoal brickwork to Entrance & Feature piers in 'Stack' bond with coloured mortar joints.
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08	Glazed Entrance doors integrated and matched with Curtain Walling system.
09	Glazed Canopy over entrances, steel support T-section arms on cross rails in painted finish (Dark Grey).

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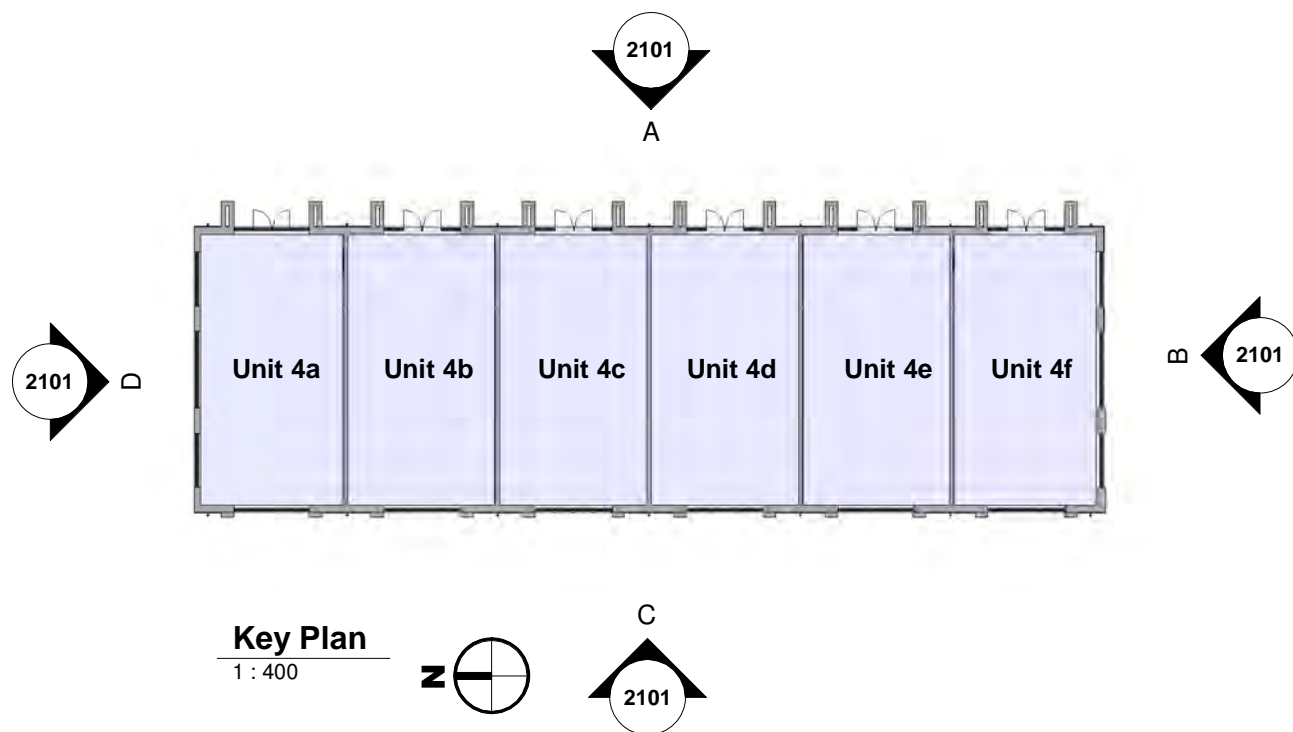
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Hazard Identification		
ref	hazard	date



P1	Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date	Checked

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Client
BLOK (UK) Ltd

Project
Middlewich Road Business Park,
Nantwich

Drawing Title
Unit 4 - Elevations as Proposed

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by VV Created June 2020
C4 Job no. 17021 Scale As indicated @ A1

Drg no.	Rev
17021-C4P-U4-ZZ-DR-A-2101	P1



0m 2m 4m 6m 8m
VISUAL SCALE 1:100 @ A1

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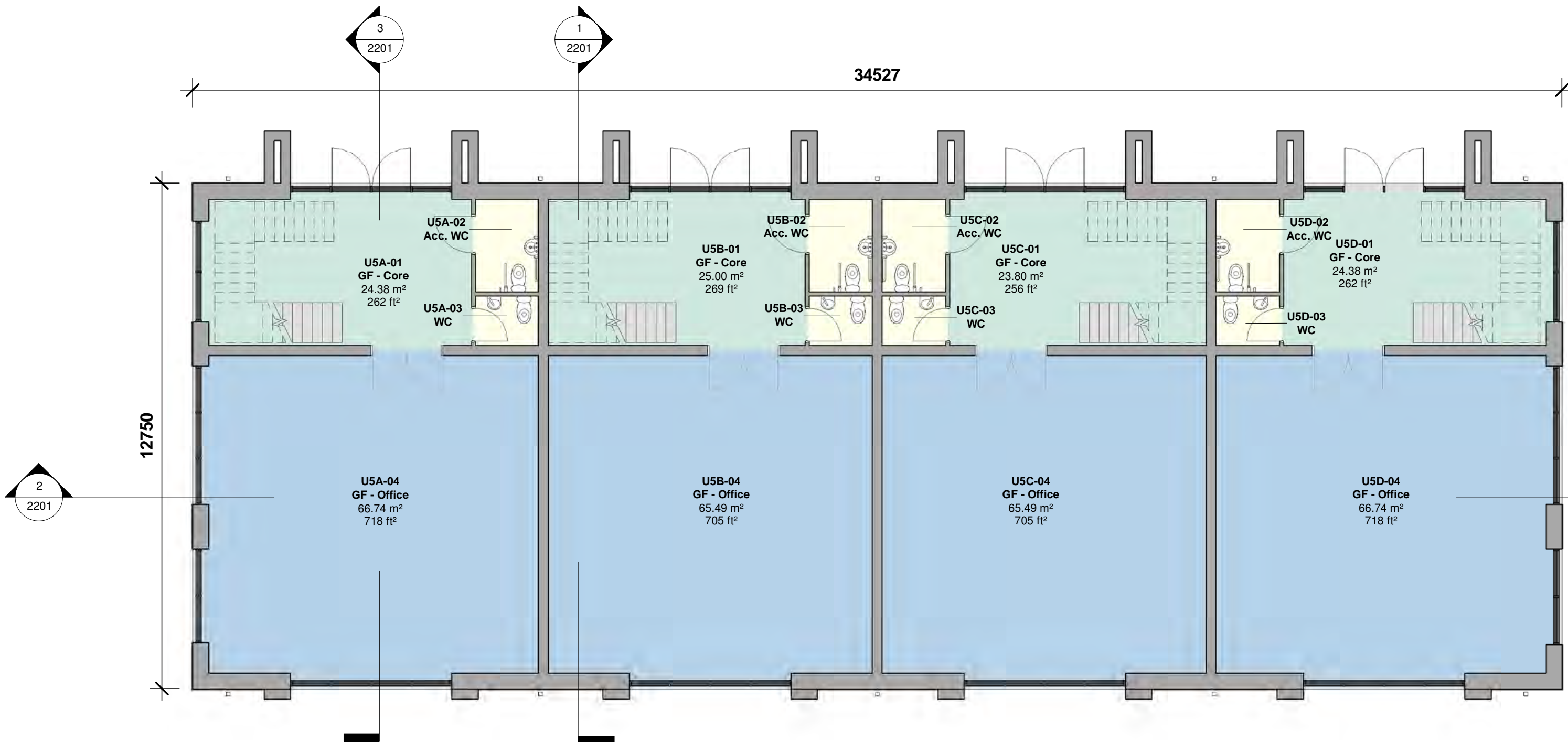
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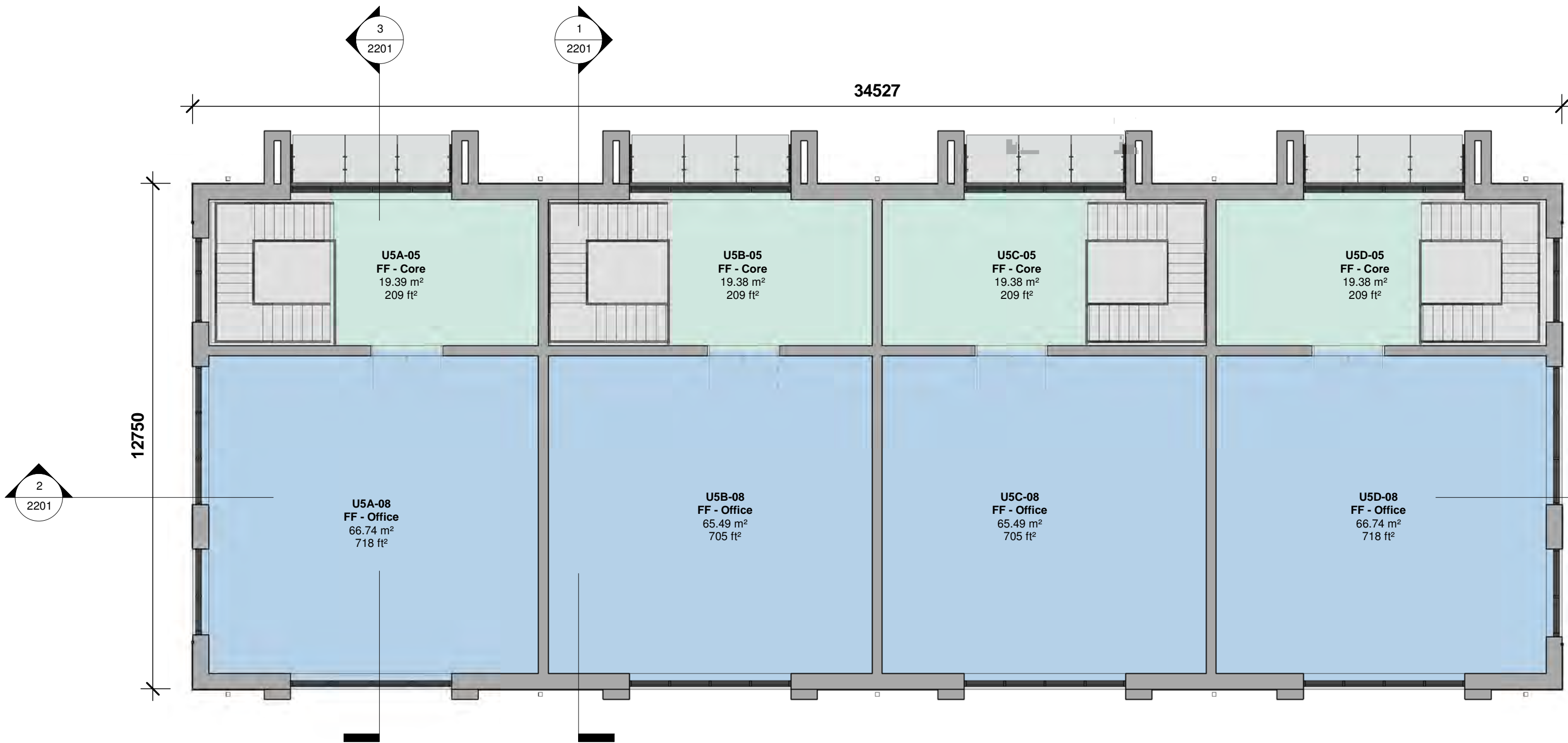


1 Proposed Ground Floor Plan
1 : 100

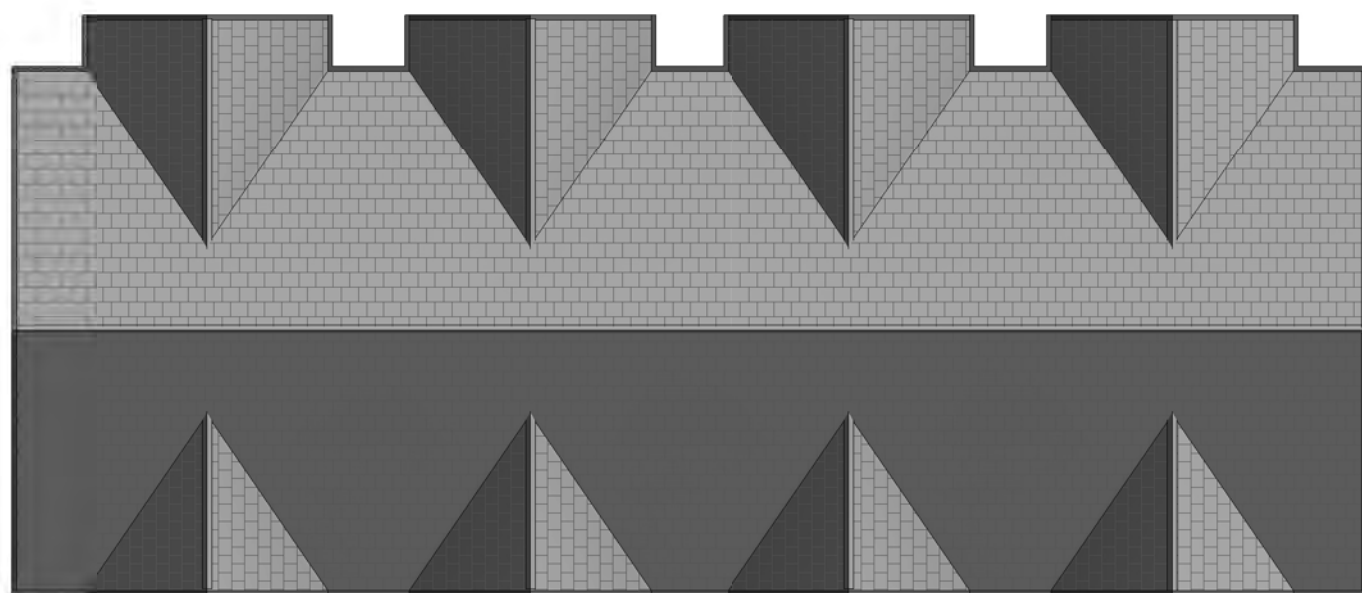
Plan Key

- Core
- Office
- Ancillary

Area Schedule (GIA)			
Level	Unit Name	Area	
		Metric	Imperial
Level 0	Unit 5A	100.17 m²	1,078 ft²
Level 0	Unit 5B	98.67 m²	1,062 ft²
Level 0	Unit 5C	98.67 m²	1,062 ft²
Level 0	Unit 5D	100.17 m²	1,078 ft²
4		397.68 m²	4,281 ft²
Level 1	Unit 5A	100.17 m²	1,078 ft²
Level 1	Unit 5B	98.67 m²	1,062 ft²
Level 1	Unit 5C	98.67 m²	1,062 ft²
Level 1	Unit 5D	100.17 m²	1,078 ft²
4		397.68 m²	4,281 ft²



2 Proposed First Floor Plan
1 : 100



3 Proposed Roof Plan
1 : 200

P1 Planning Issue	AR	17.06.20	GE
Rev	Revision Details	Drawn	Date Checked

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Client
BLOK (UK) Ltd

Project
Middlewich Road Business Park,
Nantwich

Drawing Title
Unit 5 - Proposed GA Plans

Status Purpose of Issue
S4 SUITABLE FOR STAGE APPROVAL

Drawn by	AR	Created	May 2020
C4 Job no.	17021	Scale	As indicated @ A1

Drg no.	Rev
17021-C4P-U5-ZZ-DR-A-2001	P1

0m 2m 4m 6m 8m

VISUAL SCALE 1:100 @ A1

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ref	hazard	date
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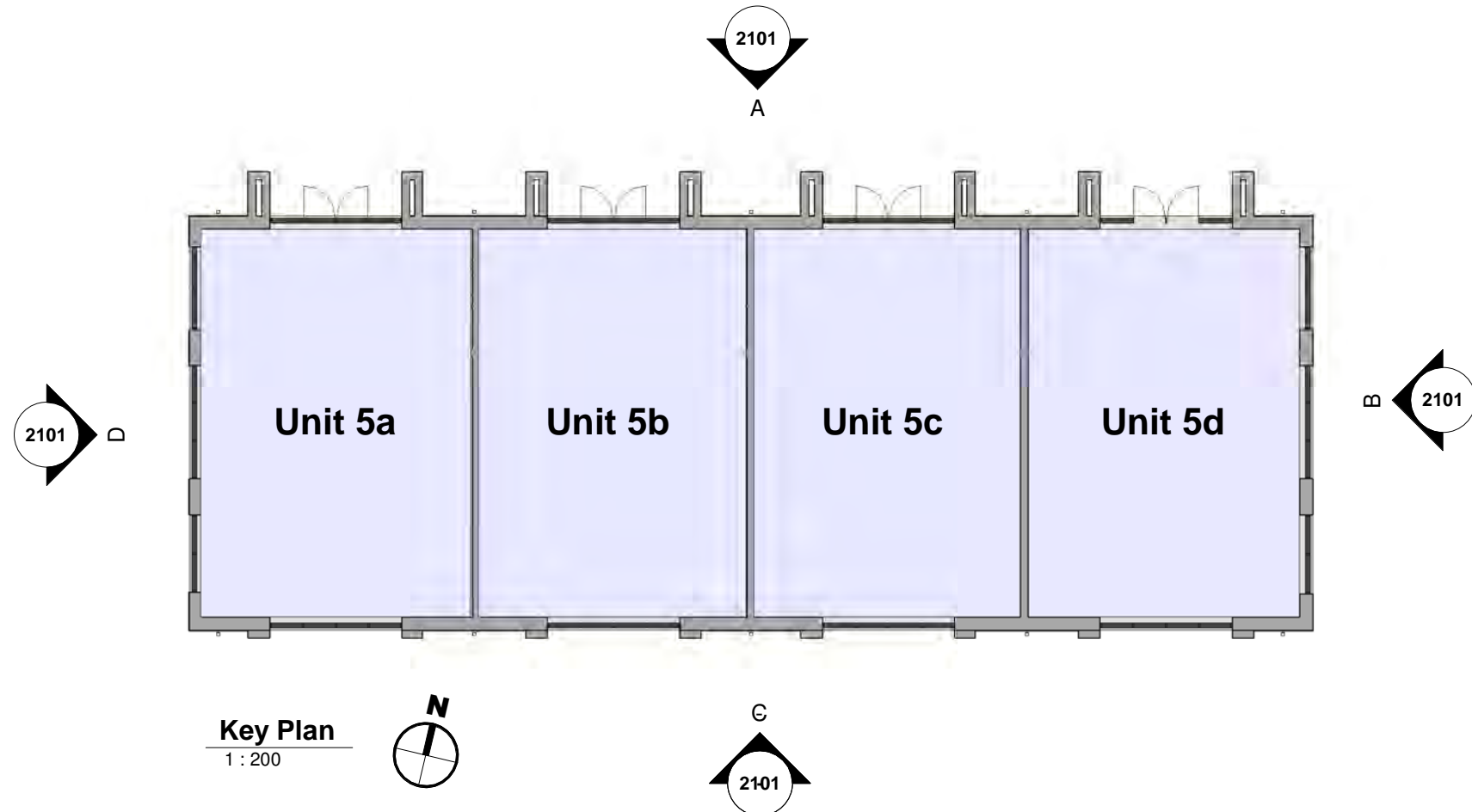
Elevation B
1 : 100



Elevation D
1 : 100



Elevation A
1 : 100



Key Plan
1 : 200



Elevation C
1 : 100

Building Envelope Materials Key	
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Rev	Revision Details	Drawn	Date	Checked



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Drawing Title

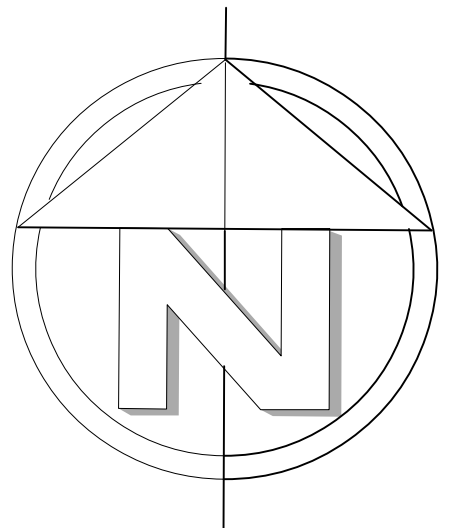
Unit 5 - Elevations as Proposed

Status Purpose of Issue

S4 SUITABLE FOR STAGE APPROVAL

Drawn by	VV	Created	May 2020
C4 Job no.	17021	Scale	As indicated @ A1

Drg no.	Rev
17021-C4P-U5-ZZ-DR-A-2101	P1



0 5 20 30

METRES



PREPARATION

1. Soil to be graded to smooth, flowing contours to tie into existing levels.
2. Areas within the canopy of existing trees to be re-graded to original levels. Likewise, all arisings, contaminants and debris to be removed off site.
3. Soils shall only be worked when the ground conditions are reasonably dry.
4. Immediately before spreading and regrading topsoil, all stones larger than 75mm in anyone direction shall be removed off site. Likewise, all arisings, contaminants and debris to be removed off site.
5. Any imported topsoil shall be free if fragments of roots, aggressive weeds, sticks, straw, subsoil, pieces of bark, concrete, glass, wire, lumps of clay or vegetation, and the like.
6. Topsoil (imported or existing) shall be to a depth of 350mm for all areas to be planted, and 150mm for grassed areas.
7. Once spread, topsoil to be gently firmed but not compacted.
8. Finished levels shall marry into adjoining areas.
9. All stones and clods of earth greater than 50mm in any one direction shall be removed off site.

SEEDING

11. Beds A-Q to be seeded with approved seed mixes and allowed to establish before tree and shrub planting takes place.

PIT PREPARATION

12. Prior to planting a 1.0m weed free circle will be sprayed off in the newly establishing grass areas in Beds A-Q.
13. Extra heavy standard (EHS) tree pits to be 600x600x500mm
Trees/Shrub mix pits to be 300x300x300mm

TREE PLANTING

14. All trees are to be staked and secured as followed:
i) All EHS trees are to be double staked to 750mm above ground and secured using a single rubber tie and spacer

11. One number 80 litre bag of tree planting compost (non peat based) is to be incorporated into the tree pits. Compost must be thoroughly mixed with with excavated (or imported) topsoil.
12. EHS trees planted in grass are to have a 1m diameter clear zone to the base and are to be mulched to a depth of 50mm with approved medium grade tree bark.
13. All EHS trees to have a spiral rabbit guard fitted immediately upon planting.
14. Plant handling at the nursery, and during transit up to delivery, shall be in accordance with 'Plant Handling' the booklet published by the Committee for Plant Supply and Establishment (CPSE). The contractor shall comply with clauses 3 & 4 of the above booklet (obtained from the Horticulture Trades Association) which refers to the receipt, unloading and temporary storage of plants.
15. Plants shall be first class examples of their species or variety, free from all pests and diseases with good fibrous root systems and materially undamaged. (Refer to relevant sections of BS3936 Parts 1-4 'Specification of Nursery Stock')
16. All planting is to be in general compliance with BS4428: 1989 'Code of Practice for general landscape operations (excluding hard surfaces)'. Plants shall be planted in groups of 3-15no.
17. The contractor must ascertain for himself the exact location of any under-ground services and maintenance points.
18. Water as necessary to ensure the establishment and continued thriving of planted and grassed matter.
19. Carry out all work when soil and weather conditions are suitable:
i) Do not plant during periods of frost or strong winds.
Plant only during the following periods: -
- Bare root deciduous trees and shrubs:
Late October to late March
- Container grown plants: At any time if ground water and weather conditions are favourable.
20. Ensure that adequate weed control is available.
21. All stock in Beds A-Q to have gro-cones fitted immediately upon planting.
22. Beds 1-8 to be mulched to a consolidated depth of 50mm using an approved amenity grade bark mulch.

- Existing vegetation and trees to remain
- Existing trees to be removed
- Proposed Extra Heavy Standard (EHS) trees
- Proposed native and semi-native tree and shrub mix planting
- Proposed internal shrub planting
- Proposed grass areas
- Proposed tarmacadam to roads
- Proposed Tobermore Mayfair flag 600 x 400mm in Silver Grey
- Proposed Tobermore Fusion flag 600 x 300mm flag in Graphite
- Proposed crushed slate margins and access strip
- Proposed tarmacadam footpath

PLANTING NOTES

KEY

Tree & Shrub Mix 1 (TSM1)					
1.0m centres					
	Bed No.	B	E	G	Total
	Bed Area	80m2	76m2	43m2	
Species	Size	Type	No.	No.	No.
Acer campestre	40-60cm	bare root	6	6	3
Betula pendula	40-60cm	bare root	6	6	3
Corylus avellana	40-60cm	bare root	9	9	3
Cytisus praecox	40-60cm	bare root	9	9	6
Hedera helix 'Glacier'	30-40cm	1L	24	21	12
Hamamelis mollis	40-60cm	bare root	6	6	6
Prunus spinosa	40-60cm	bare root	9	9	6
Ribes sanguineum	40-60cm	2L	9	6	3
Rosa pimpinellifolia	40-60cm	bare root	9	9	6
Sambucus nigra	40-60cm	bare root	9	6	3
Total			96	87	51

Shrub Mix 1 (SM1)											
1.0m Centres (except *)											
	Bed No.	A	C	D	F	H	N	P	Q	Total	
	Bed Area	116m2	49m2	75m2	40m2	44m2	58m2	35m2	83m2		
Species	Size	Type	No.	No.	No.	No.	No.	No.	No.	No.	
Amelanchier lamarkii	40-60cm	3L	15	5	8	5	6	6	5	9	59
Cornus stolonifera	40-60cm	bare root	18	5	8	5	6	6	5	9	62
Crataegus monogyna	40-60cm	bare root	18	9	12	7	7	12	7	14	86
Cytisus praecox	40-60cm	2L	12	9	12	7	7	12	7	14	80
Euconymus europaeus	40-60cm	2L	12	6	6	5	6	6	5	9	55
Hedera helix	40-60cm	1L	39	15	20	11	12	14	11	24	140
Rosa canina	40-60cm	bare root	15	6	9	3	3	6	3	12	57
Prunus spinosa	40-60cm	bare root	15	3	8	3	6	5	3	10	53
Sambucus nigra	40-60cm	2L	6	3	6	3	3	3	3	3	27
Ulex europaeus	40-60cm	2L	6	3	6	3	3	3	3	3	27
Total			150	64	95	52	59	73	46	107	642

* to front of bed at 3 per m2

Semi-Native Shrub Mix 1 (SN1)					
0.7m centres					
	Bed No.	J	K	L	M
	Bed Area	24m2	68m2	24m2	55m2
Species	Size	Type	No.	No.	No.
Hedera helix 'Glacier'	60-90cm	bare root	8	22	7
Rosa canina	30-40cm	bare root	7	21	9
Rubus 'Betty Ashburner'	20-30cm	bare root	8	21	7
Symphoricarpos chenuallii 'Hancock'	20-30cm	bare root	7	21	9
Total			32	85	32

TREE PLANTING			
Species	Size	Type	No.
Betula pendula (Bp)	14-16cm girth	Rootballed	7
Carpinus betulus 'Fastigiata' (Cb)	14-16cm girth	Rootballed	9
Prunus x Sargentii (Ps)	14-16cm girth	Rootballed	5
Prunus padus (Pp)	14-16cm girth	Rootballed	4
Potentilla 'Princess'	14-16cm girth	Rootballed	5
Sorbus 'Sheenwater Seedling' (Ss)	14-16cm girth	Rootballed	5
Total			30

Ornamental Shrub Mix B							
	Bed No.	Area	5	6	7	8	Total
			12m2	23m2	12m2	20m2	
Species	Size	Type	No.	No.	No.	No.	No.
Chaenomeles 'Crimson and Gold'	45-60 cm	3L	3	6	3	6	18
Cornus canadensis	30-40 cm	bare root	6	12	6	12	36
Cotoneaster 'Skogholm Coral Beauty'	30-40 cm	2L	6	9	6	9	30
Cytisus x kewensis	30-40 cm	2L	6	12	6	12	36
Euconymus 'Silver Queen'	30-40 cm	1L	9	12	9	12	42
Hedera helix 'Glacier'	30-40 cm	1L	12	12	12	12	48
Mahonia aquifolium 'Apollo'	45-60 cm	1L	9	9	9	9	36
Potentilla 'Princess'	45-60 cm	3L	3	6	3	6	18
Prunus 'Zabelliana'	45-60 cm	3L	3	6	3	6	18
Skimmia 'Rubella'	45-60 cm	3L	3	6	3	6	18
Total			42	81	42	69	234

HEDGEROWS			
H1	Size	Type	No.
5 per lin m - double staggered row	45-60cm	bare root	253
Species			
Crataegus monogyna	29.6	3L	46
Ilex aquifolium	45-60cm	bare root	161
Prunus spinosa			460
Total			
5 per lin m - double staggered row			
H2	Size	Type	No.
Species			
Fagus sylvatica	45-60cm	bare root	460

PLANTING SCHEDULES

Alvaston Business Park, Middlewich Road, Nantwich

BLOK (UK) LTD

Proposed Development
General Arrangement

Proposed Planting Works

PR/20/TD04/GA/01

Contractors are advised to check dimensions with the architect before setting out on site

The plant room

Vanessa Swift Bsc Dip LA CMLI
Landscape Architect
M: 07918 081407
F: 08717 145212
E: vanessa@theplantroom.co.uk

June 2020

1:200 @ A0

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Application No: 22/4796N

Location: Buerton Hall, WOORE ROAD, BUERTON, CW3 0DA

Proposal: Retrospective application for the construction of an agricultural building to be used for the housing of livestock

Applicant: Mr Evans, Bubney Farms Ltd

Expiry Date: 01-Sep-2023

SUMMARY

Retrospective planning approval is sought for the construction of an agricultural building to be used for the housing of livestock in relation to the existing dairy enterprise at Buerton Hall.

The application site lies entirely within the Open Countryside where Policy PG 6 (Open Countryside) of the CELPS sets out the exceptions for development in the Open Countryside which includes development which is essential for the purpose of agriculture.

The proposed development would not cause adverse impacts upon residential amenity, heritage assets trees & hedgerows, ecology or highway safety. The siting and design of the proposed agricultural building is acceptable in the open countryside.

While the building and internal access would be visible from some vantage points there would be no significant impact to the existing heritage assets located nearby.

The proposals comply with the Development Plan as a whole and represent sustainable development. As such it is considered that the development is acceptable and recommended for approval.

RECOMMENDATION

APPROVE with conditions

REASON FOR REFERRAL

This application is referred to Southern Planning Committee as it is a small scale major development (floorspace of between 5,000 – 9,999 square metres).

DESCRIPTION OF SITE AND CONTEXT

The application site relates to Buerton Hall which comprises of an existing dairy enterprise located off Woore Road, Buerton. Buerton Hall comprising of a farmhouse and a number of existing building and structures relating to the existing enterprise.

To the west of the site lies Smithy House Farmhouse, a Grade II listed building.

The site lies within the Open Countryside and Audlem/Buerton Local Landscape Designations as defined by the Local Plan Policies Map.

DETAILS OF PROPOSAL

Retrospective full planning permission is sought for the construction of an agricultural building to be used for the housing of livestock. In addition, a new section of internal access is proposed to service the agricultural building and wider farm buildings.

The proposed agricultural livestock building consists of a steel portal framed structure, measuring 182.88 metres in length, 30.48 metres in width an eaves height of 3.65 metres and a ridge height of 8.80 metres.

The supporting statement advises the proposed agricultural livestock building would house up to approx. 700 head of dairy youngstock which are currently held on the wider unit at Swynnerton and to ease pressure on the existing facilities at Buerton Hall.

The planning statement further advises that the site at Swynnerton is being impacted by HS2 with approx. 50 acers being lost and the existing yard area being impacted by the access to HS2.

RELEVANT HISTORY

The site has no planning history.

POLICIES

Cheshire East Local Plan Strategy (CELPS)

PG1 – Overall Development Strategy
PG 6 - Open Countryside
EG2 – Rural Economy
SD1 - Sustainable Development in Cheshire East
SD2 - Sustainable Development Principles
SE 1 - Design
SE 2 - Efficient Use of Land
SE 3 - Biodiversity and Geodiversity
SE 4 - The Landscape
SE 5 - Trees, Hedgerows and Woodland
SE 7 - The Historic Environment
SE 12 - Pollution, Land Contamination and Land Instability

SE 13 - Flood Risk and Water Management
IN1 – Infrastructure
CO1 - Sustainable Travel and Transport

Site Allocations and Development Policies Document (SADPD)

GEN 1 - Design principles
ENV 1 - Ecological network
ENV 2 - Ecological implementation
ENV 3 - Landscape character
ENV 5 - Landscaping
ENV 6 - Trees, hedgerows and woodland implementation
ENV 7 - Climate change
ENV 12 - Air quality
ENV 14 - Light pollution
ENV 16 - Surface water management and flood risk
HER 1 - Heritage assets
HER 4 - Listed buildings
RUR 1 - New buildings for agriculture and forestry
HOU 12 - Amenity
INF 3 - Highway safety and access

Buerton Neighbourhood Plan

ENV1 – Biodiversity
ENV2 – Trees, Hedgerows and Watercourses
ENV3 – Access to the Countryside
LCD1 – Local Character and Design
LCD2 – Important Views and Vistas
HER1 – Heritage
INF2 – Drainage
ECON1 - Rural Economy

Other Material Considerations

National Planning Policy Framework (NPPF) (2021)
Cheshire East Design Guide SPD

CONSULTATIONS (External to Planning)

Environmental Health: No objection.

Natural England: No Objection

Flood Risk: No objection

United Utilities: No comments received

Public Rights of Way (PROW): No objection .

Cheshire East Highways: No objection

VIEWS OF THE PARISH / TOWN COUNCIL

Buerton Parish Council: No comments received

OTHER REPRESENTATIONS

A representation has been received which has made general observations summarised as follows.

- Why is the building so high if it is for livestock.
- View and impact of the building.
- What type of livestock.
- Will the building be used to store heavy machinery or haulage trucks.
- Additional access road has been constructed, is planning permission required.

OFFICER APPRAISAL

Principle of Development

Policy PG 6 (Open Countryside) of the CELPS sets out that only development that is essential for the purposes of agriculture, forestry, outdoor recreation, public infrastructure, essential works undertaken by public service authorities or statutory undertakers, or for other uses appropriate to a rural area will be permitted.

This is further supported by Policy RUR 1 of the SADPD which states "proposals for new agricultural and forestry buildings in the open countryside will only be permitted where they accord with other policies in the development plan and:"

- i. it is demonstrated that there is a clear long-term need for the development in connection with the agricultural or forestry enterprise;
- ii. the proposals make best use of existing infrastructure, such as existing buildings, utilities, tracks and vehicular access;
- iii. new buildings are restricted to the minimum level reasonably required for the efficient existing or planned operation of the enterprise; are well-related to each other and existing buildings and do not form isolated or scattered development;
- iv. do not unacceptably affect the amenity and character of the surrounding area or landscape (including visual impacts, noise, odour, design and appearance), either on its own or cumulatively with other developments; and
- v. provide appropriate landscaping and screening.

The proposals relate to an existing dairy enterprise and from the supporting statement it advises that. *'The dairy herd extends to 2,150 head and a further 1,650 dairy youngstock/followers. All milking cows are based at Bubney Farm, together with all calves up to 4 months old (250 head). The dairy youngstock are then moved to Buerton Hall from 4 to 16 months in age (600 head), then onto Swynnerton, Stafford (rented farm) from 16 to 24 months (400 head).'*

The application site at Buerton Hall has one dwelling associated with the farm, whilst Swynnerton is rented and no members of staff reside on-site.

The site at Buerton Hall is currently over-stocked, with insufficient buildings to accommodate the number of livestock on this holding.

The site at Swynnerton is also being impacted by HS2, with approx. 50 acres being lost to the new rail link. The access for HS2 at Swynnerton through the yard area, which has resulted in instances of livestock being let out and escaping.'

The new building is located to the south of the existing enterprise and in close proximity to the existing agricultural structures on site. It is well screened from public views by the existing agricultural buildings to the north and change in ground levels; however, it is still visible from certain vantage points, most notably west facing elevation from Woore Road but clearly set within the context of a long established existing enterprise.

In relation to the new internal access track the planning statement advises that '*A new internal track has been created within the ownership boundary to allow ease of access for the agricultural vehicles. The existing access was through the middle of the middle of the yard where a number of traditional brick buildings are located. Given the size of modern agricultural machinery, it is not practical to continue using this for regular internal machinery movements*'

The building and internal access is justified as for agricultural use and its location is considered acceptable taking into consideration the above factors. For a combination of the above reasons, the proposals are deemed to adhere with Policy PG6 of the CELPS and RUR 1 of the SADPD and would be deemed acceptable in principle.

Design, Character & Appearance of the Area

Policy SD1 states that wherever possible development should 'provide a locally distinct, high quality, sustainable, well designed and durable environment'.

Policy SD2 states that all development will be expected to contribute positively an area's character and identity, creating or reinforcing local distinctiveness in terms of;

- Height, scale, form and grouping
- Choice of materials
- External design features
- Massing of the development (the balance between built form and green/public spaces)
- Green infrastructure; and
- Relationship to neighbouring properties, street scene and the wider neighbourhood

SADPD design Policy GEN1 is also a consideration.

Agricultural Building

The design is typical of a livestock building reflecting the existing use of the site within a rural area. The steel portal frame unit consists of walls formed of concrete with the north and south facing elevations being open to the eaves. The east and west facing elevations this would

consist of wooden boarding and corrugated sheeting, with the roof formed of fibre cement sheeting.

The building has internal area consisting of a central passage with 5 (five) areas either side (10 in total) for housing livestock.

Regarding its design the planning statement and supporting letter outlines that consideration has been given to improve animal health and welfare, in addition to ensure ventilation and the continual movement of fresh air.

The structure is of a functional design, and it is not considered its siting has had any significant impact on the character of the area or local landscape designation.

Internal Access Track

The new section of internal track proposed is taken off via the existing access serving the site and leading to Woore Road. The proposed section of track is approx. 170 meters in length and runs parallel to the existing farm access before diverting to the east and running alongside side the existing agricultural buildings. The new section of track will link to existing track network.

The proposed development would not result in detrimental impact upon the character of the surrounding area in accordance with policies SE1, SE4 SD2 of the Cheshire East Local Plan Strategy and policies GEN 1 and ENV 3 of the Site Allocations and Development Policies Document.

Impact on Heritage Assets

The starting point for the consideration of the proposal is the Planning (Listed Buildings and Conservation Areas) Act 1990 ("the Act"). Sections 16(2), 66, 72 require that special regard is had to the desirability of preserving a listed building, or its setting, or any features of special architectural or historic interest it possesses. The statutory duty to consider the impact of proposals upon the setting of a listed building carry great weight.

The policies most relevant to the consideration of the proposal include CELPS Policies SE 1 (Design) SE 7 (The Historic Environment), SADPD Policy HER 4 (Listed buildings), and Policy HER1 (Heritage) of the Buerton Neighbourhood Plan.

Policy SE7 states proposals for development shall be assessed and the historic built environment actively managed in order to contribute to the significance of heritage assets and local distinctiveness. The Council will support proposals that do not cause harm to heritage assets and will seek to avoid or minimise conflict by considering the level of harm in relation to the public benefits that may be gained.

SADPD Policy HER 4 (Listed buildings) states that development proposals affecting a listed building or its setting will be expected to preserve and enhance the asset and its setting wherever possible. As such new development affecting the setting of listed buildings should preserve and enhance the setting.

Buerton Neighbourhood Plan Policy HER1 (Heritage) states Proposals for development must take into account the scale of any possible harm or loss and the significance of any heritage assets and will only be supported where it can be demonstrated that substantial benefits will be achieved when weighed against the harm or loss.

In terms of other material planning considerations, guidance within the National Planning Policy Framework (“NPPF”) is relevant particularly Section 14 ‘ Meeting the challenge of climate change, flooding and coastal change’ and Section 16 ‘Conserving and enhancing the historic environment’.

Most notably to the west of the site lies Smithy House Farmhouse, a Grade II listed building. The separation between the existing complex is approx. 200 meters and the proposed building would continue to respect this.

Following consultation with the Council’s Conservation Officer and whilst it is acknowledged the building is large, it is set down and not dominate the landscape. Whilst the building may be viewed from Smithy House Farmhouse, it will be located some 200 meters away, not set forward than the existing complex and would be read in conjunction with the existing agricultural business.

The Council’s Conservation Officer notes that there are additional Grade II listed buildings located to the northeast of the site; however due to the existing topography and existing buildings it would not impact there setting.

The proposed development therefore accords with CELPS Policy SE 7, Policy HER4 of the SADPD and Policy HER1 of the Buerton Neighbourhood Plan.

Amenity

Policy HOU 12 (Amenity) of the SADPD, requires that new development should not have an unduly detrimental effect on the amenities of nearby residential properties from loss of privacy, loss of sunlight or daylight, the overbearing and dominating effect of new buildings, environmental disturbance or pollution and traffic generation access and parking.

The nearest residential dwellings are located over 170m away, these being Willowbrook Chapel and Yew Tree Farm to the north and The Granary and Smithy House Farm to the northwest.

Given separation distances to the nearest neighbouring properties, the existing established enterprise, there would be no significant impact to the neighbouring dwellings above and beyond the existing scenario.

As such the development complies with the principles of policies SE1 CELPS and policy HOU 12 of the SADPD.

Highways

Policy CO2 of the CELPS identifies that *'proposals should adhere to the current adopted Cheshire East Council Parking Standards for Cars and Bicycles set out in Appendix C (Parking Standards)'*

Policy INF3 of the emerging SADPD states amongst others that the development provides '*safe access to and from the site for all highway users and incorporate safe internal movement in the site to meet the requirements of servicing and emergency vehicles*'

The applicant has stated that the proposal removes the need to transport livestock between sites and will therefore reduce the number of traffic movements on the public highway. Furthermore, the proposal is for an agricultural use within a large established farm which will make use of an existing access off Woore Road and has had no recorded accidents associated with it over the last 3 years.

The Head of Strategic Transport therefore raises no objection to the planning application.

The proposal accords with Policies SD1 and CO2 of the CELPS with regards to highways matters, Policy INF 3 of the SADPD.

Landscape and Trees

The site is located in the open countryside. It has no local or national landscape designations or trees afforded protection via a TPO within or near the immediate site.

The site to the north abuts the existing complex with agricultural fields being located to the east, west and south.

Given the proposals would reside near an established agricultural business and adjacent fields there would be no significant impact.

Ecology

The application site falls within Natural England's SSSI Impact Risk Zones. As such The Council's Nature Conservation Officer undertook an Assessment of Likely Significant Effects (ALSE) which forms part of the Habitat Regulations Assessment (HRA) process. It was concluded that a significant effect on the designated sites is not likely to result from the building in question in this application.

In addition as the site resides within the SSSI impact zone Natural England were consulted. Following consideration of additional information including potential hydrological impacts of the development on the SSSI, Natural England have no objections to the application.

Ecological Enhancement

In addition to the SSSI Impact Risk Zones the site forms part of the Ecological network as outlined in policy ENV 1 of the SADPD, which seeks to deliver benefits for biodiversity from development.

Following consultation with the Council's Ecologist due to the nature of the site and proposal, though limited the proposals present any opportunities for ecological enhancement in relation to birds, bats, hedgehogs and native species planting.

If the committee is minded approving a condition will be attached to secure an ecological enhancement to the site within 2 months of the date of the decision.

Flood risk

The site is located within flood zone 1 (lowest risk), in addition the LLFA have reviewed the application and have no objection in principle,. Therefore, it is considered the flood risk is acceptable.

As a result the proposals will not cause any significant issues from a flooding/drainage perspective and complies with Policies SE13 & ENV16 of the CELPS and SADPD.

Waste

No additional development is proposed in relation to the storage of slurry and silage. The Environment Agency were consulted on the application, and it is noted they have no objection to the application. Comments in relation to the adequate storage of slurry and silage which are governed by other legislation will be attached as an informative.

CONCLUSION

The application site lies entirely within the Open Countryside where Policy PG 6 (Open Countryside) of the CELPS sets out the exceptions for development in the Open Countryside which includes development which is essential for the purpose of agriculture.

The proposals are considered to be in accordance with National and Local Plan Policy and appropriate to its rural location. The proposed development would not cause adverse impacts upon residential amenity, heritage assets, highway safety, and the location of the proposed agricultural building is acceptable in the open countryside.

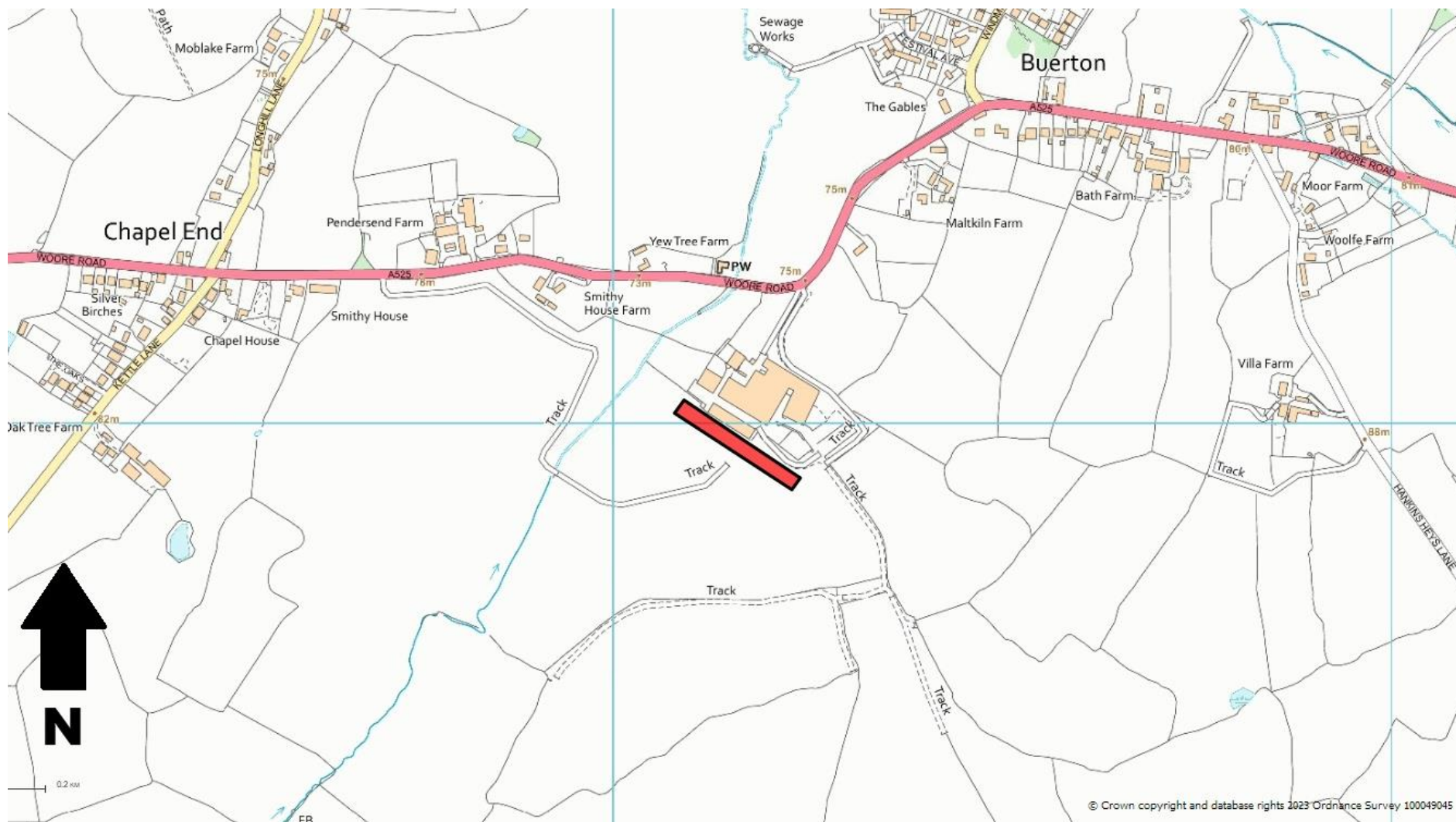
The proposals comply with the Development Plan as a whole and represents sustainable development. As, such it is considered that the development is acceptable and recommended for approval.

RECOMMENDATION

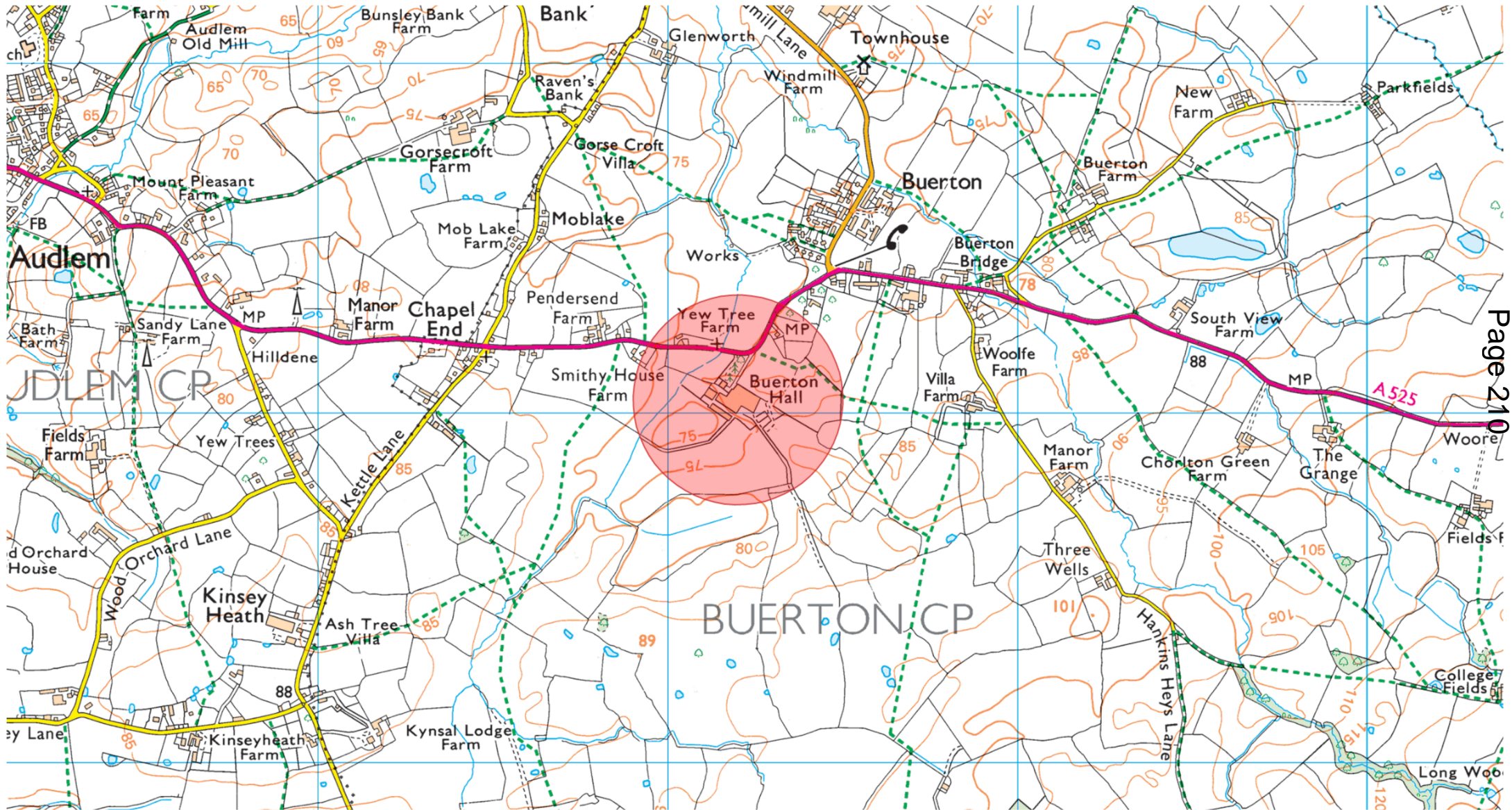
APPROVE subject to the following conditions;

- 1. Approved Plans**
- 2. Materials as Application**
- 3. Ecological Enhancement**

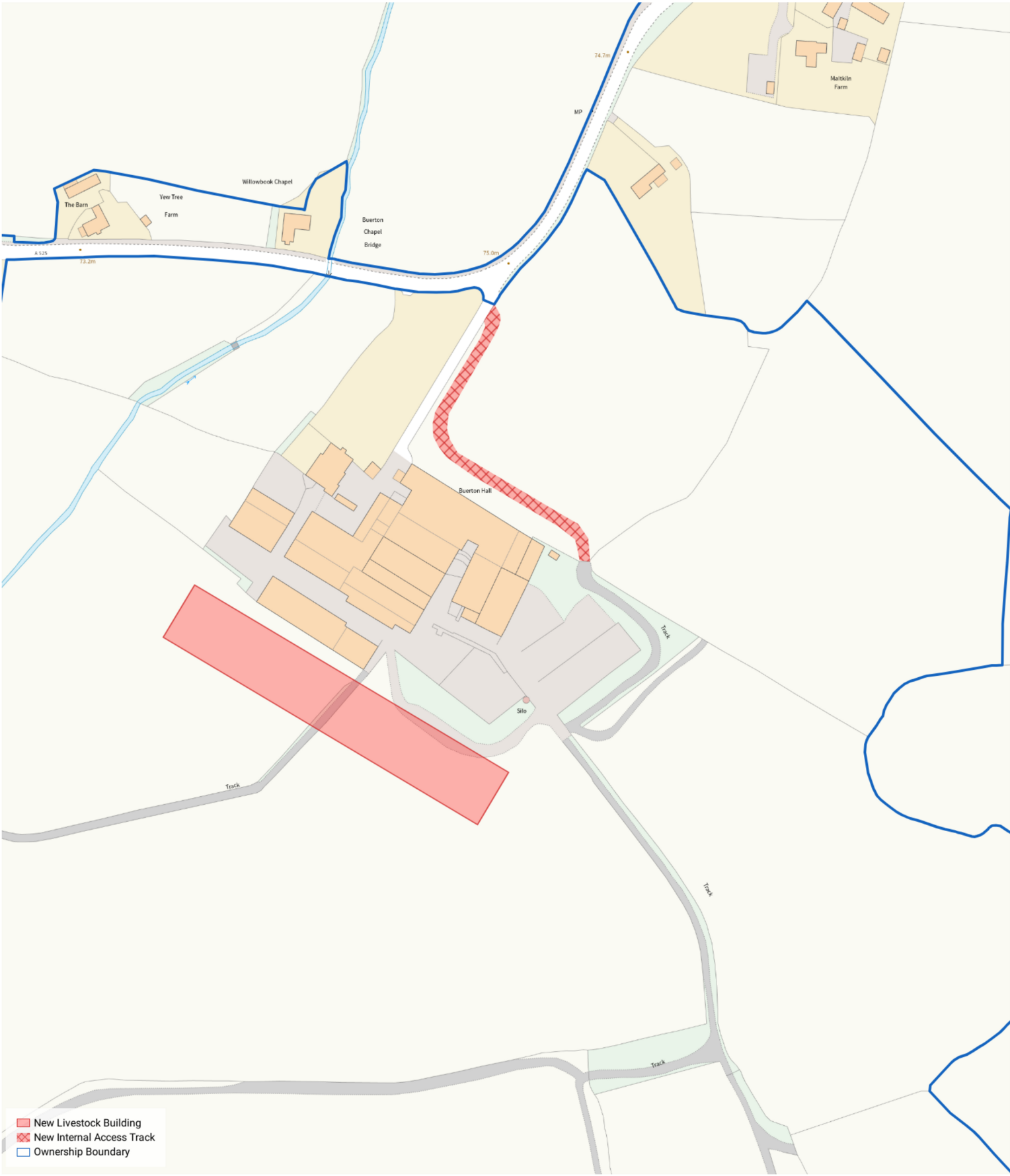
In order to give proper effect to the Committee's intentions and without changing the substance of the decision, authority is delegated to the Head of Planning, in consultation with the Chair (or in their absence the Vice Chair) of Southern Planning Committee, to correct any technical slip or omission in the wording of the resolution, between approval of the minutes and issue of the decision notice.

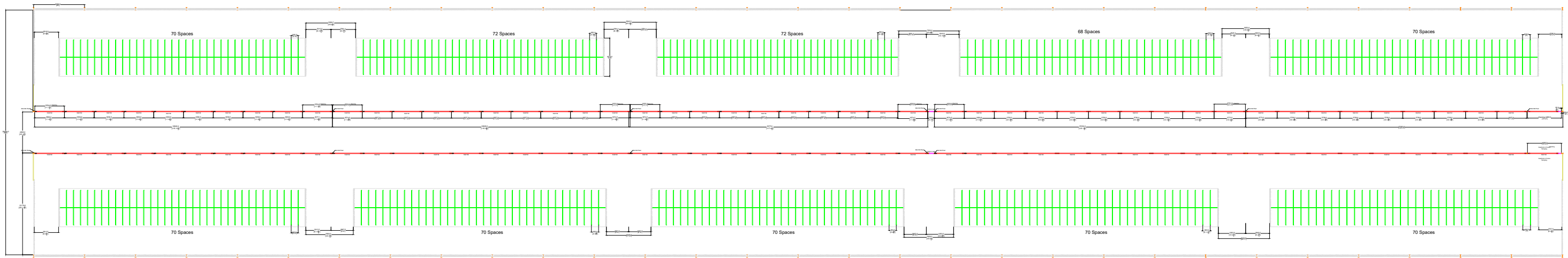


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BUERTON HALL,
WOORE ROAD,
BUERTON, CW3 0DA







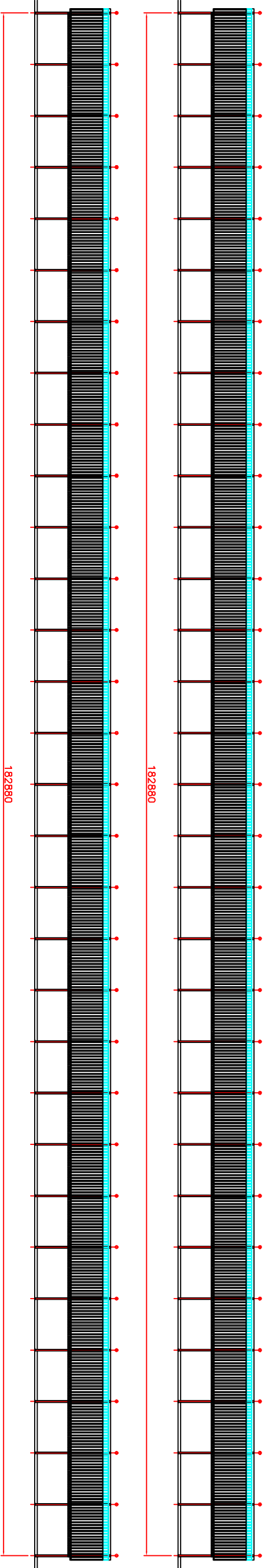
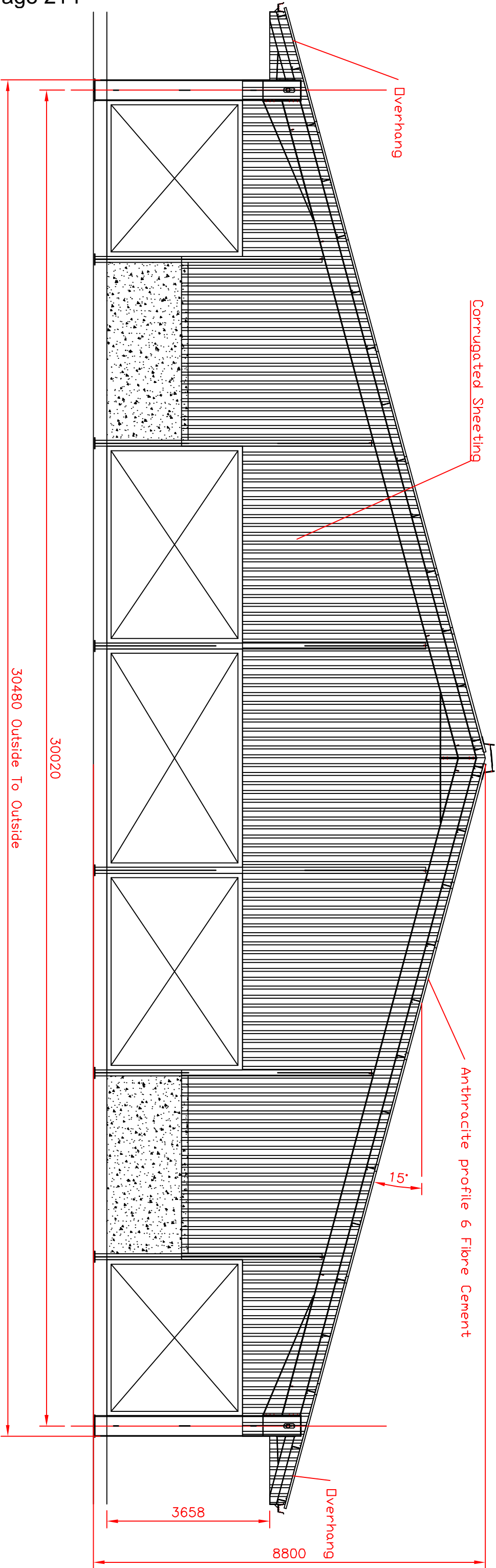


TEEMORE ENGINEERING Ltd

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All Dimensions are
in Millimeters.
Please ensure all Sharp
edges are removed.

Job/Drawing Name:	Shed Layout
Part Number:	n/a
Customer Name:	Andrew Evans
Accounts Number:	n/a
Sales Person:	Ray Foy
Drawing By:	Conan McGrath
Date of Drawing:	26/07/2022
Scale:	n/a



Gareth Pugh Steel Framed Buildings		Customer Name: Andrew Evans
Agrimont Depot		GPSFB Ref: JC-052
Abermule		Issue Date: 30/03/2022
Newtown		Drawn By: JJC
Powys		Fabricated By:
SY15 6NH		Date of Fabrication:
Tel: 01686 630 500 Fax: 01686 630 441		All welds 8mm fillet U.N.O

Application No: 23/1510M

Location: STANLEY AND BROCKLEHURST COURT, KING EDWARD ROAD,
MACCLESFIELD, SK10 1AP

Proposal: The replacement of the current gas boilers and installation of new flues
and the installation of secondary glazing to the kitchen and bathroom
windows of all 12 Almshouses

Applicant: Fiona Wilson, Stanley and Brocklehurst Almshouses Trust

Expiry Date: 21-Jul-2023

SUMMARY

The proposal is for the implementation of several flues following replacement of the existing boilers, and additional glazing to the existing bathroom and kitchen windows of a Grade II Listed Building.

The proposed changes would have a neutral affect to the listed building and would have a minimal impact on its design and character and surrounding area. The impact on neighbouring amenity would be acceptable also.

As such, the application is recommended for approval subject to conditions.

SUMMARY RECOMMENDATION

APPROVE subject to conditions.

REASON FOR REPORT

The application has been referred to Southern Planning Committee as it has been submitted by Cllr Fiona Wilson, vice chairman of the Northern Planning Committee.

DESCRIPTION OF SITE AND CONTEXT

The application relates to a group of four almshouse buildings, oriented around a central square courtyard, split into 12 1.5-storey dwellings / bungalows.

The property is a Grade II listed building, re-built in 1871. It is characterised by buff stone elevations with dressed detailing around the fenestration, and steep sloping grey slate roofs with dormers positioned on the inner facing roof slopes.

It is located off King Edward Road, adjacent to Cumberland Street, Macclesfield. There are some businesses, retail uses and the Macclesfield Methodist Church adjoining the property.

DESCRIPTION OF PROPOSAL

The application seeks Full Planning Permission for the implementation of a number of flues following replacement of the existing boilers, and additional glazing to the existing kitchen and bathroom windows. Some existing flues and vents will be repurposed.

Listed Building Consent is also sought under planning ref; 23/1509M and appears elsewhere on this agenda.

RELEVANT POLICIES:

National Planning Policy

National Planning Policy Framework (2021)

Cheshire East Local Plan Strategy 2017 (CELPS)

MP1 - Presumption in Favour of Sustainable Development
PG1 – Overall Development Strategy
PG2 – Settlement Hierarchy
PG7 – Spatial Distribution of Development
SD1 - Sustainable Development in Cheshire East
SD2 - Sustainable Development Principles
IN1 – Infrastructure, SE1 – Design
SE2 - Efficient use of land
SE7 – The Historic Environment
SE12 – Pollution, Land Contamination and Land instability

Site Allocations and Development Plan Document 2022 (SADPD)

GEN1 - Design Principles
HER1 – Heritage Assets
HER4 – Listed Buildings
HOU12 – Amenity
HOU13 – Residential Standards
INF3 - Highway safety and access

RELEVANT PLANNING HISTORY

23/1509M - Listed building consent for the replacement of the current gas boilers and installation of new flues and the installation of secondary glazing to the kitchen and bathroom windows of all 12 Almshouses – Under consideration

69505P - LISTED BUILDING CONSENT - THE REPLACEMENT OF THE 3 NO. EXISTING STUB CHIMNEY STACKS WITH 3 NO. NEW STONE REPLICAS OF THE TALL STACKS – Approved - 22-Jan-1992.

64119P - LISTED BUILDING CONSENT - INTERNAL ALTERATIONS LOFT CONVERSION AND DORMER WINDOWS - Approved - 05-Sep-1990.

CONSULTATIONS:

Heritage – No objection subject to condition.

Environmental Protection – No objection, subject to conditions relating to noise generative works and air quality.

REPRESENTATIONS

No neighbouring comments received at time of report.

OFFICER APPRAISAL

Principle of Development

The application proposals relate to a site within the settlement boundary of Macclesfield. Macclesfield is defined as a 'Principal Town' by Policy PG2 of the CELPS. Within such locations, development is encouraged.

Policy PG9 of the SADPD details that development within Principal Towns would be appropriate should it be in keeping with the existing scale, function and purpose of the site and wider settlement.

This proposal is modest in terms of its proposals and would maintain the current scale and use of the site. As such, the proposed development is acceptable in principle, subject to its adherence with other relevant policies of the plan. In this instance, the main policies relate to matters of design, amenity, highways, heritage, and environmental protection.

Heritage & Design

Policies SE1 and SD2 set out the design criteria for development proposals within Cheshire East, underpinning high quality design whilst considering scale, form, grouping, materials, and impact to the wider area. Policy GEN1 of the SADPD echoes this, ensuring development positively contributes to the character and form of the settlement.

Policy HOU11 of the SADPD states that extensions and alterations to dwellings must be subordinate to the existing dwelling and remain in keeping with its character, scale, and appearance, whilst Policy HOU13 of the SADPD states that there must be a gap of at least 1m between development and the site's side boundary.

Policies SE7 of the CELPS aims to limit harm to heritage assets from development and ensure that a positive contribution is made to the character of Cheshire East's historic and built environment.

Policy HER1 of the SADPD outlines the submission requirements for works carried out on heritage assets, whilst Policy HER4 relates specifically to listed buildings, outlining that related

development must have special regard to preserving the building, its setting, and features of special architectural or historic interest.

Stanley and Brocklehurst Almshouse is a Grade II listed building made up of four individual buildings comprising of twelve small units of accommodation, arranged around a central courtyard. The building is made up of buff stone cut with ashlar on its elevations, a grey slate steep sloped mono-pitched roof, white timber framed windows, and green timber doors. There is dressed stonework around the windows and doors, and the buildings benefit from a large chimney.

The scheme proposes to introduce a number of flues on the lowest part of the roof plane on the front elevations facing the courtyard following replacement of the existing boilers and to add additional glazing to the bathroom and kitchen windows positioned on the front elevations to improve heat insulation.

The flues will be relatively short, protruding approximately 300mm from the roof plane, and will be less intrusive than the flues which already exist on the property. They will be positioned neatly and in uniform and will only be implemented where required with some existing flues and vents being repurposed. They will exist on the front elevations facing the inner courtyard, and therefore will not be visible from public vantage points or pedestrians of King Edward Road or Cumberland Street.

Considering their minimal intrusion, the proposed flues will have a neutral affect upon the setting and character of the listed building. Additionally, there will be little impact to the design and character of the property as a result. As such, the proposed flues would be acceptable.

The existing kitchen and bathroom windows will be upgraded to provide secondary glazing. There would be no changes to the size, shape, scale, or materials of the existing windows, and the dressed stone will remain unchanged. Therefore, it is deemed that the proposed additional glazing would have a minimal impact and neutral affect to the design and character of the listed building and would be acceptable.

Amenity

Policy SE1 of the CELPS states that development should ensure an appropriate level of privacy for new and existing residential properties.

Policy HOU11 of the SADPD states that extensions and alterations to dwellings must not be negatively impactful to the amenity of neighbouring properties nor future occupiers of the existing property, whilst HOU12 of the SADPD outlining the following amenities as those which must be protected; privacy; sunlight; overbearingness; environmental disturbance or pollution; traffic generation, access, and parking.

Policy HOU13 of the SADPD outlines residential standards, giving guidance for separation distances for development.

The proposed changes would have a minimal impact to neighbouring amenity. The flues would protrude from the roof plane by approximately 300mm and will be positioned on the inner front elevations. They would not extend higher than the roof ridge and therefore would not be visible

from public vantage points or neighbouring properties. Given their low height and slim profile, there are no anticipated concerns regarding overbearingness or loss of light.

The additional glazing to the kitchen and bathroom windows positioned on the inner front elevations are unlikely to result in a loss of privacy given that the position, sizes, and scales of the windows would not be changed. Furthermore, only the windows on the inner elevations would be impacted. As such, there are no anticipated concerns to loss of amenity to neighbours outside of this property.

Air Quality

Policy SE12 of the Local Plan and ENV12 of the SADPD states that the Council will seek to ensure all development is located and designed so as not to result in a harmful or cumulative impact upon air quality. This is in accordance with paragraph 186 of the NPPF and the Government's Air Quality Strategy.

The addition of flues following the replacement of boilers is likely to impact immediate air quality. However, given the very modest scale, there would be no need for an air quality impact assessment. To mitigate impact on air quality, it will be conditioned for the developer to submit information confirming that the gas-fired boilers would be of certain specification. Following this, it is deemed that the proposal would not cause significant harm to air quality and would be acceptable.

Other Matters

Policy HOU12 of the SADPD cites parking as a consideration afforded protection from development, whilst Policy INF3 of the SADPD and Appendix C of the CELPS outline the standards for parking provisions. However, considering that the property does not benefit from available parking, and the proposal would not impact on parking provision or highway safety, further consideration would not be required.

It is noted that dwellings no.5 and no.6 of the almshouses have already implemented the additional glazing. As such, the assessment for these dwellings is retrospective.

CONCLUSIONS AND RECOMMENDATION

The proposed scheme to implement flues following replacement of existing boilers and to add additional secondary glazing to the bathroom and kitchen windows to the Grade II Listed Building is acceptable. The proposed changes would have a neutral affect on the listed building and would have a minimal impact on the design and character of the building and surrounding area, and to neighbouring amenity. As such, the application is recommended for approval subject to the following conditions.

RECOMMENDATION

APPROVE subject to the following conditions:

1. Accordance with approve plans
2. Materials as per application
3. Air quality – specification of ultra-low emission boilers to be submitted

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions / informatives / planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Southern Planning Committee, provided that the changes do not exceed the substantive nature of the Committee's decision.



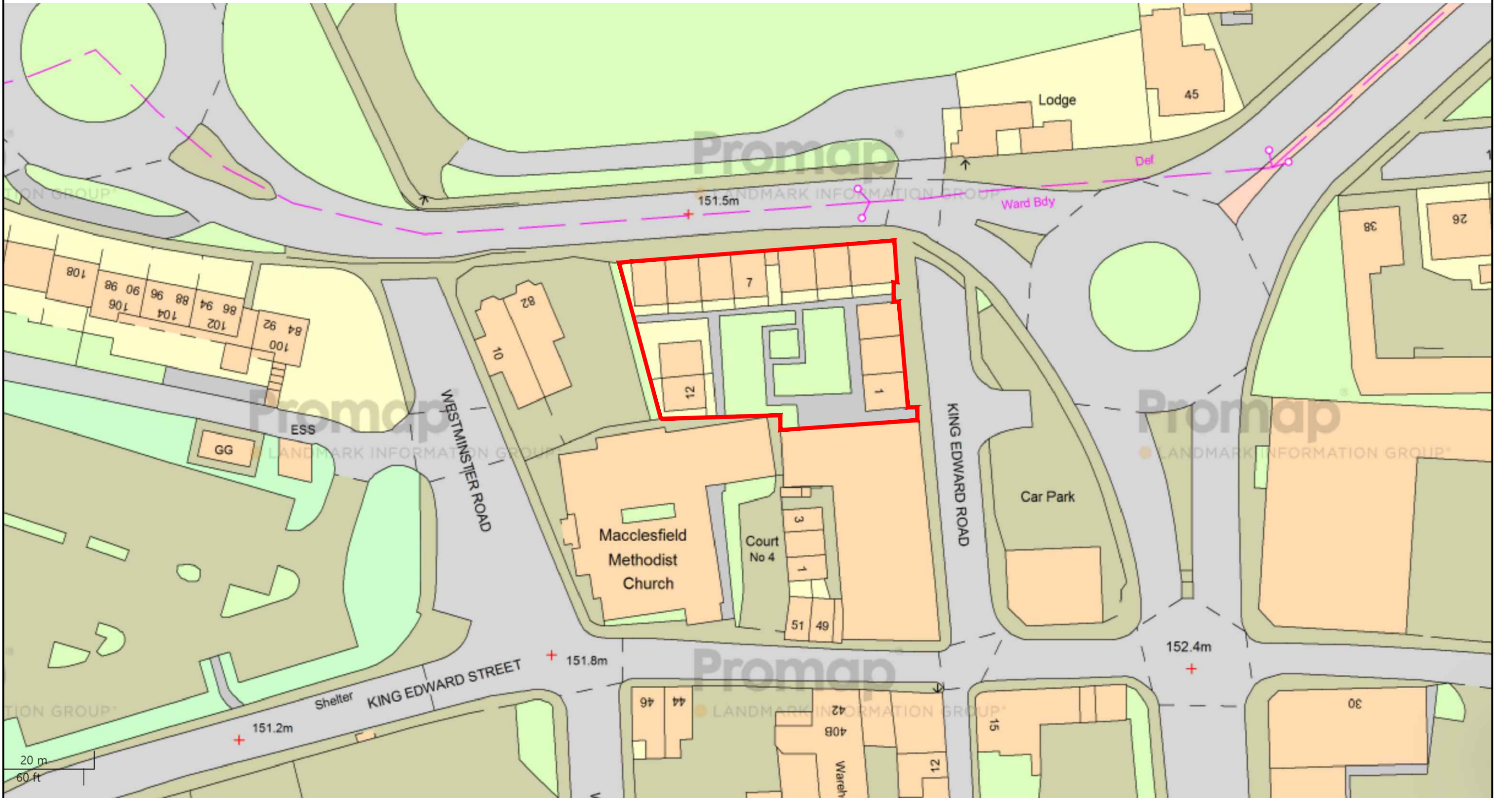
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23/1510M
STANLEY AND
BROCKLEHURST COURT,
KING EDWARD ROAD,
MACCLESFIELD, SK10 1AP

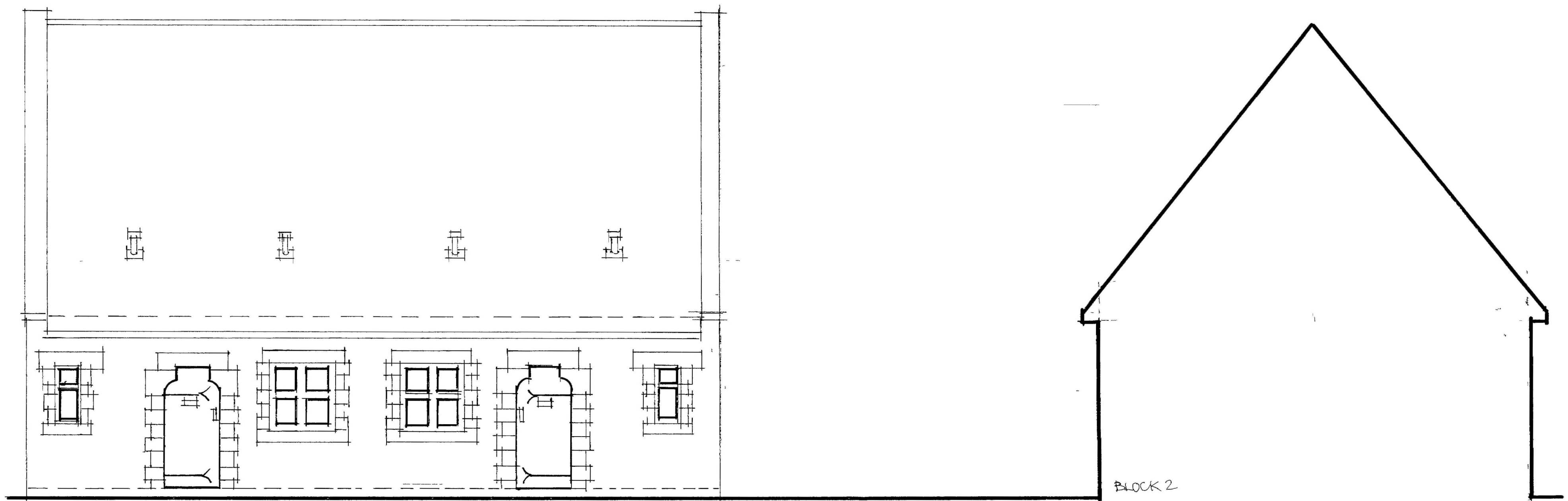
Revisions.			
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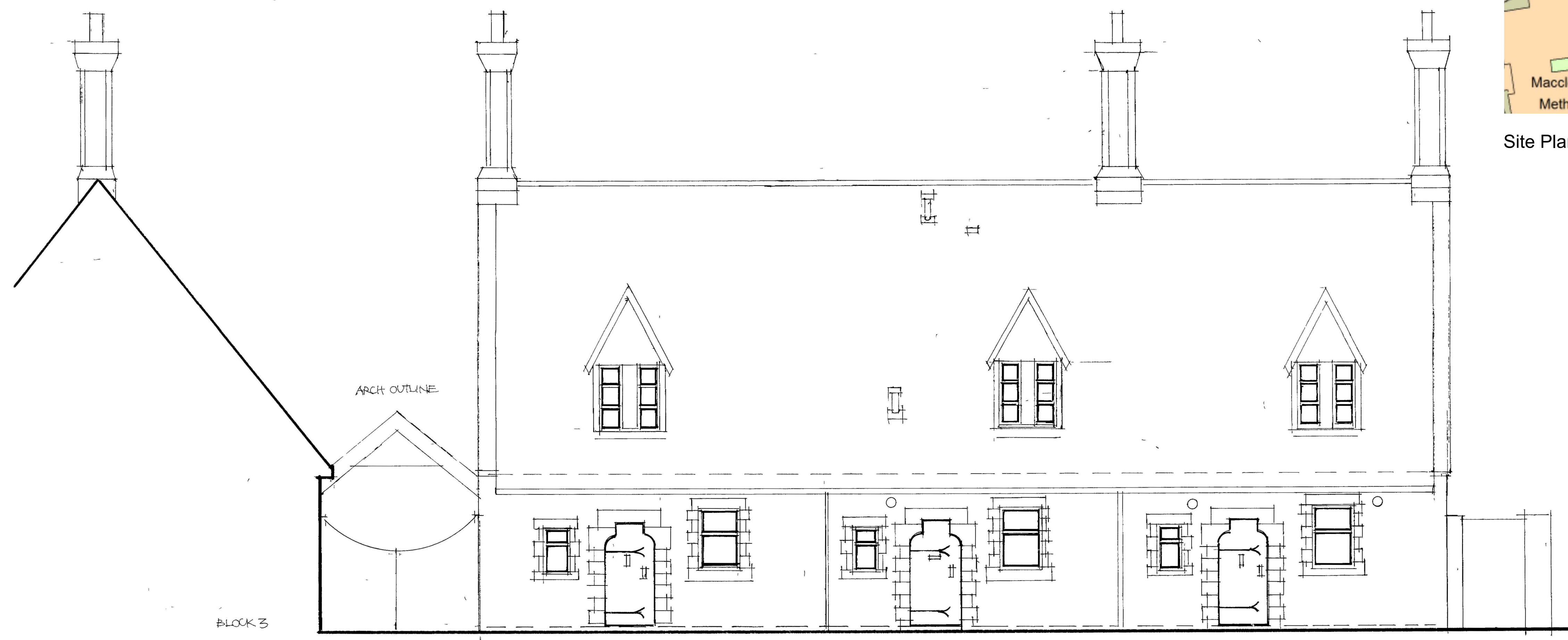
Area
1,222sqm
0.3 Acres



Project Stanley and Brocklehurst Almshouses, King Edward Road, Macclesfield SK10 1AP				 Bower Mattin Unit 23 / 24 Beechfield House, Winterton Way, Lyne Green , Business Park, Macclesfield SK11 0LP Telephone 01625-509187 E-Mail architect@ howemattin-young.co.uk Chartered Architects Surveyors	
Title Site Location Plan 1:1250					
Scale 1:500@A3	Date May 2022	Job No 23412	Original		
Drawn By MY	Checked	Sequential No 001	Revision -		
Category L	CiSfb Element				

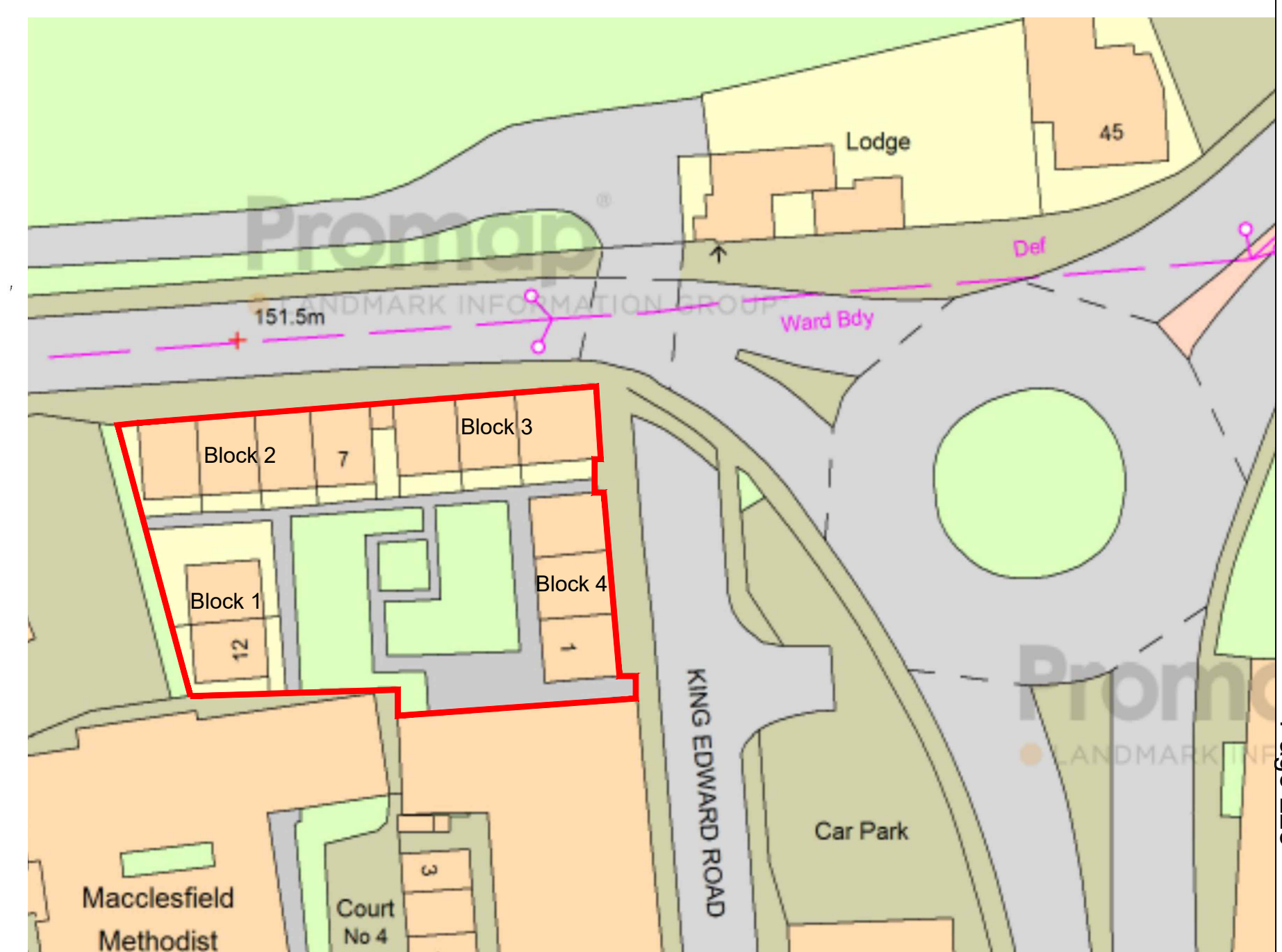
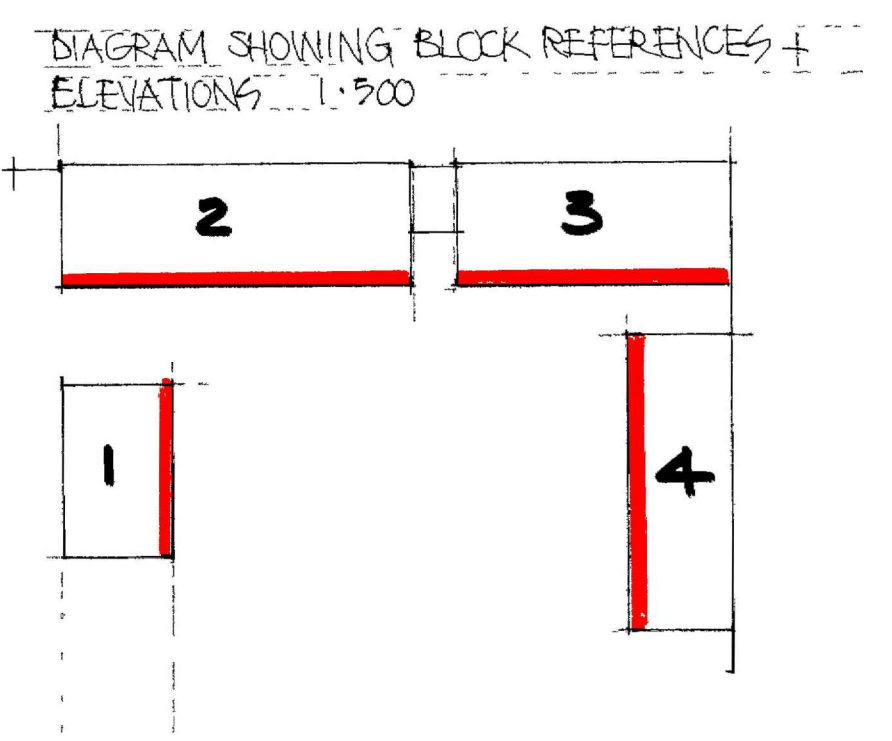


BLOCK 1

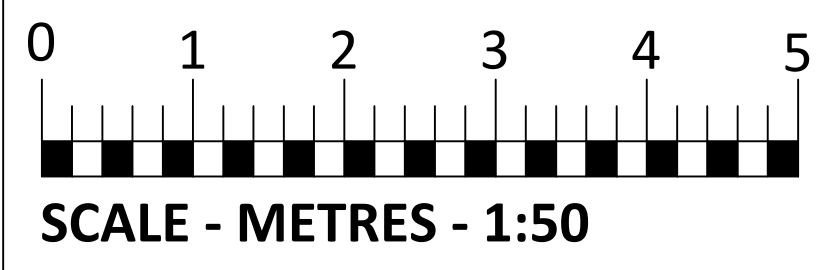


ARCH OUTLINE


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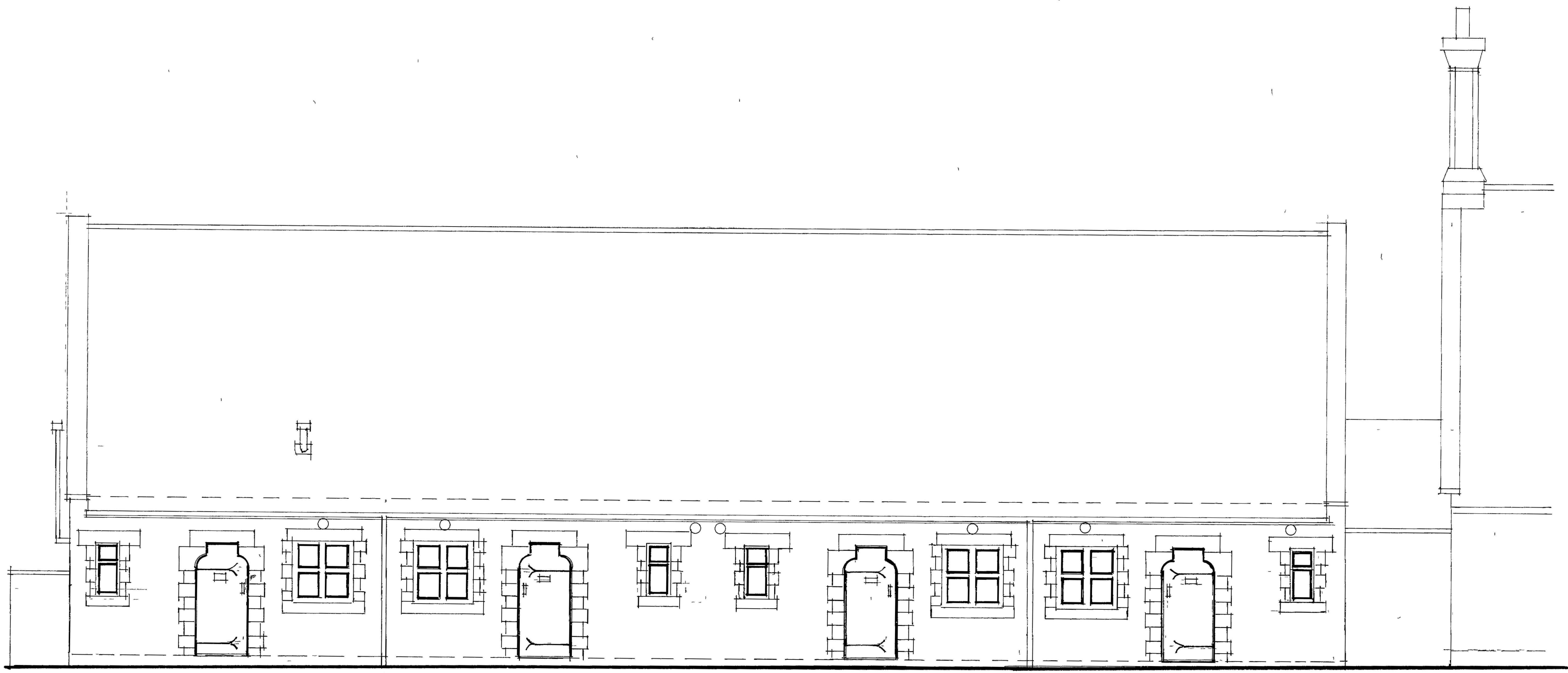


Site Plan 1:500



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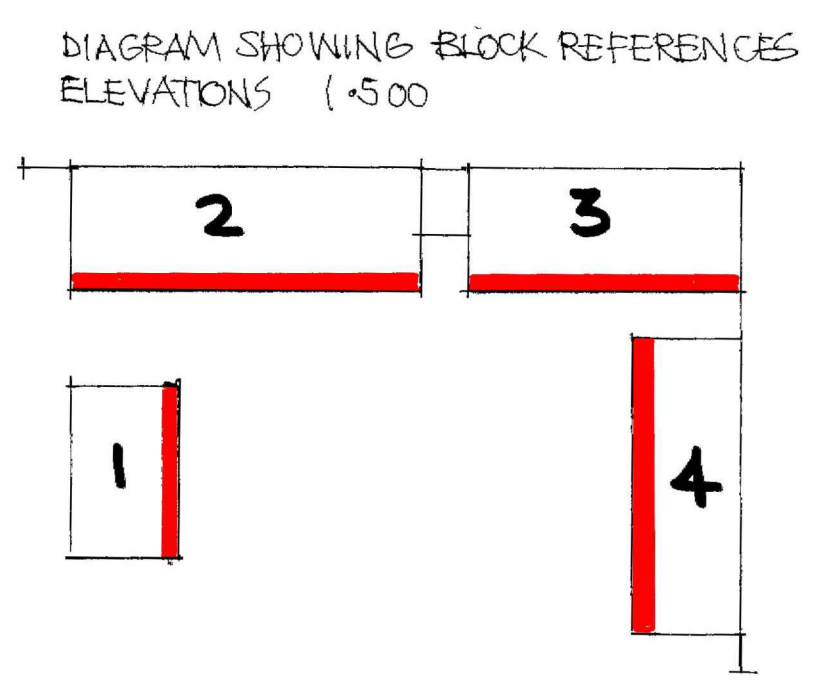
Project Stanley and Brocklehurst Almshouses, King Edward Road, Macclesfield SK10 1AP				 Bower Mattin Unit 23/ 24 Beechfield House Winterton Way Macclesfield Cheshire SK11 0LP Telephone 01625-509187 E-Mail architects@ bower-mattin.co.uk Chartered Architects Surveyors
Title Blocks 1 and 4 Existing Elevations				
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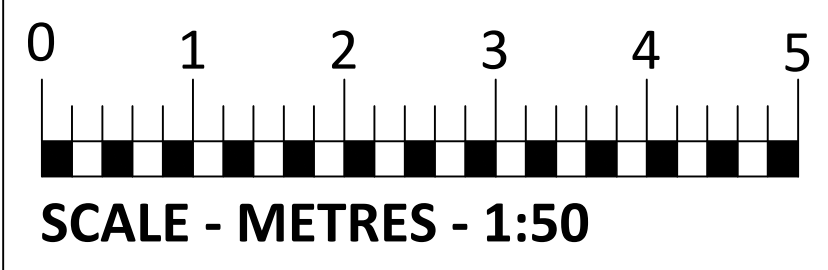
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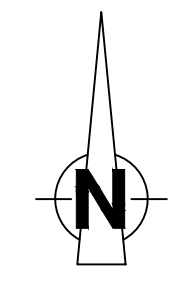
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Location Plan 1:1250



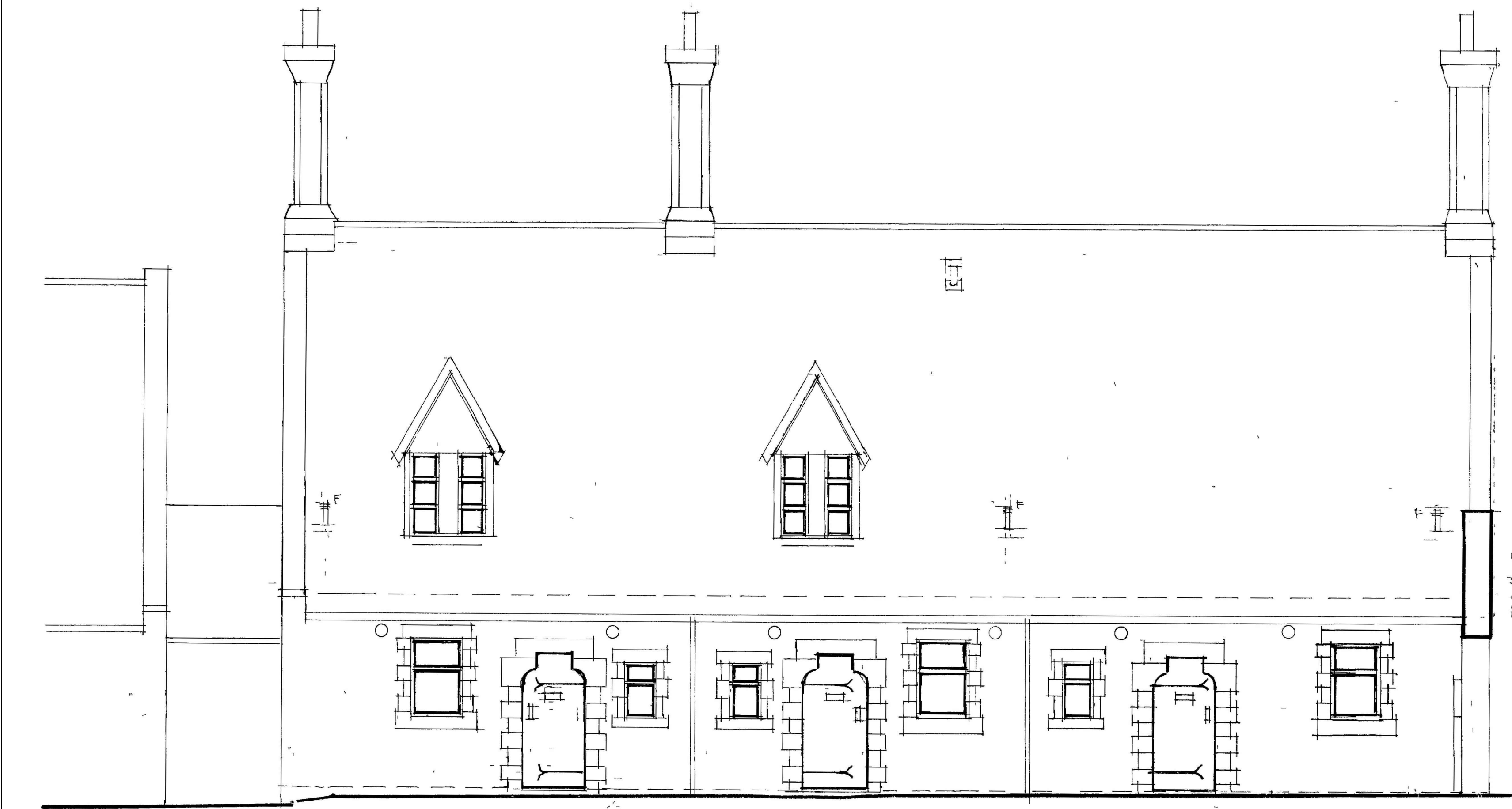
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BLOCK 2



BLOCK 3

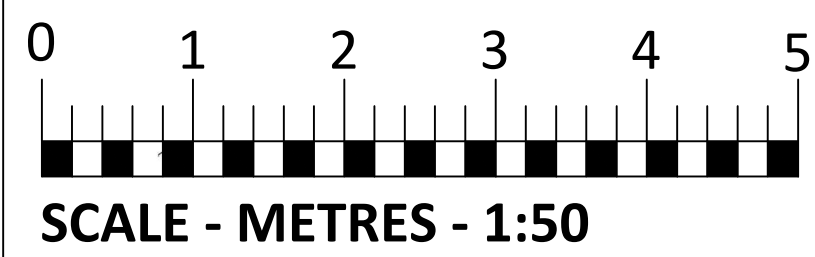
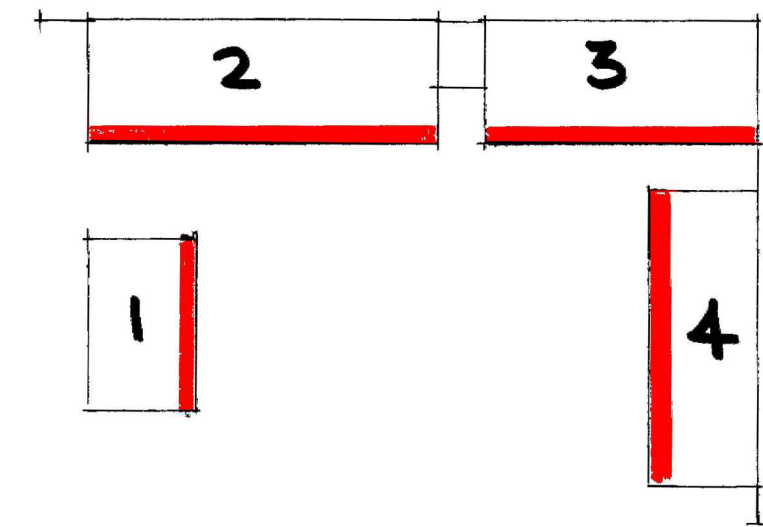


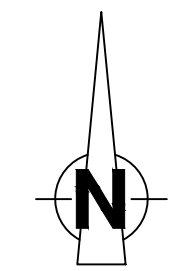
DIAGRAM SHOWING BLOCK REFERENCES + ELEVATIONS 1:500



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Location Plan 1:1250



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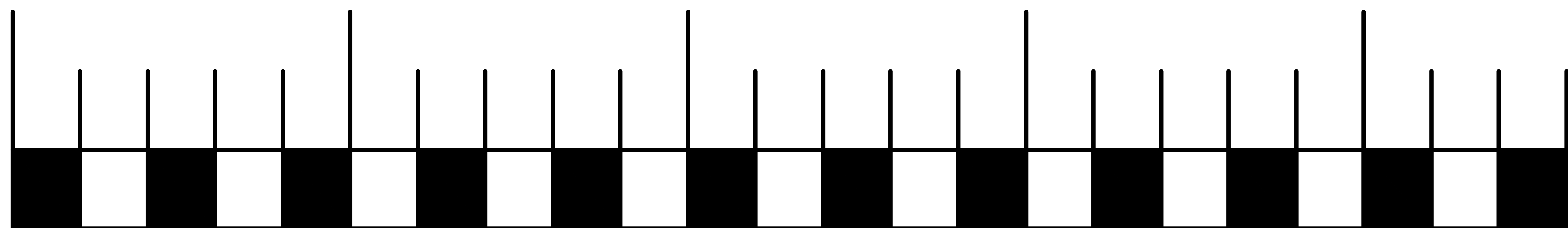
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SCALE - METRES - 1:50

Application No: 23/1509M

Location: STANLEY AND BROCKLEHURST COURT, KING EDWARD ROAD,
MACCLESFIELD, SK10 1AP

Proposal: Listed building consent for the replacement of the current gas boilers and installation of new flues and the installation of secondary glazing to the kitchen and bathroom windows of all 12 Almshouses

Applicant: Fiona Wilson, Stanley and Brocklehurst Almshouses Trust

Expiry Date: 21-Jul-2023

SUMMARY

The proposal is for the implementation of several flues following replacement of the existing boilers and additional glazing to the existing bathroom and kitchen windows of a Grade II Listed Building.

The proposed changes would have a neutral affect to the listed building. As such, the application is recommended for approval subject to conditions.

SUMMARY RECOMMENDATION

APPROVE subject to conditions.

REASON FOR REPORT

The application has been referred to Southern Planning Committee as it has been submitted by Cllr Fiona Wilson, Vice Chair of the Northern Planning Committee.

DESCRIPTION OF SITE AND CONTEXT

The application relates to a group of four almshouse buildings, oriented around a central square courtyard, split into 12 1.5-storey dwellings / bungalows.

The property is a Grade II listed building, re-built in 1871. It is characterised by buff stone elevations with dressed detailing around the fenestration, and steep sloping grey slate roofs with dormers positioned on the inner facing roof slopes.

It is located off King Edward Road, adjacent to Cumberland Street, Macclesfield. There are some businesses, retail uses and the Macclesfield Methodist Church adjoining the property.

DESCRIPTION OF PROPOSAL

The application seeks Listed Building Consent for the implementation of a number of flues following replacement of the existing boilers, and additional glazing to the existing kitchen and bathroom windows. Some existing flues and vents would be repurposed.

Full Planning Permission is also sought under planning ref; 23/1510M and appears elsewhere on this agenda.

RELEVANT POLICIES:

National Planning Policy

National Planning Policy Framework (2021)

Cheshire East Local Plan Strategy 2017 (CELPS)

SE7 – The Historic Environment

Site Allocations and Development Plan Document (SADPD)

HER1 – Heritage Assets

HER4 – Listed Buildings

RELEVANT PLANNING HISTORY

23/1510M - Listed building consent for the replacement of the current gas boilers and installation of new flues and the installation of secondary glazing to the kitchen and bathroom windows of all 12 Almshouses – Under consideration

69505P - LISTED BUILDING CONSENT - THE REPLACEMENT OF THE 3 NO. EXISTING STUB CHIMNEY STACKS WITH 3 NO. NEW STONE REPLICAS OF THE TALL STACKS – Approved - 22-Jan-1992.

64119P - LISTED BUILDING CONSENT - INTERNAL ALTERATIONS LOFT CONVERSION AND DORMER WINDOWS - Approved - 05-Sep-1990.

CONSULTATIONS:

Heritage – No objection subject to condition.

REPRESENTATIONS

No neighbouring comments received at time of report.

OFFICER APPRAISAL

Heritage & Design

Policy HER1 of the SADPD outlines the submission requirements for works carried out on heritage assets, whilst Policy HER4 relates specifically to listed buildings, outlining that related development must have special regard to preserving the building, its setting, and features of special architectural or historic interest.

Stanley and Brocklehurst Almshouse is a Grade II listed building made up of four individual buildings comprising of twelve small units of accommodation, arranged around a central courtyard. The building is made up of buff stone cut with ashlar on its elevations, a grey slate steep sloped mono-pitched roof, white timber framed windows, and green timber doors. There is dressed stonework around the windows and doors, and the buildings benefit from tall chimney stacks.

The scheme proposes to introduce a number of flues on the lowest part of the roof plane on the front elevations facing the courtyard following the replacement of the existing boilers, and to add additional glazing to the bathroom and kitchen windows positioned on the front elevations to improve heat insulation.

The flues will be relatively short, protruding approximately 300mm from the roof plane, and will be less intrusive than the flues which already exist on the property. They will be positioned neatly and in uniform and will only be implemented where required with some existing flues and vents being repurposed. They will exist on the front elevations facing the inner courtyard, and therefore will not be visible from public vantage points or pedestrians of King Edward Road or Cumberland Street.

Considering their minimal intrusion, the proposed flues will have a neutral effect upon the setting and character of the listed building and are deemed acceptable.

The existing kitchen and bathroom windows will be upgraded secondary glazing. There would be no changes to the size, shape, scale, or materials of the existing windows, and the dressed stone will remain unchanged. Therefore, it is deemed that the proposed additional glazing would have a neutral effect to the listed building and would be acceptable.

Other Matters

It is noted that dwellings no.5 and no.6 of the almshouses has already implemented the additional glazing. As such, the assessment for these dwellings are retrospective.

Although conditions relating to environmental protection have been suggested for this application, they would relate only to the Full Planning Permission application which is separate to this application.

CONCLUSIONS AND RECOMMENDATION

The proposed scheme seeks to implement flues following replacement of existing boilers and add additional glazing to the bathroom and kitchen windows to the Grade II Listed Building. The

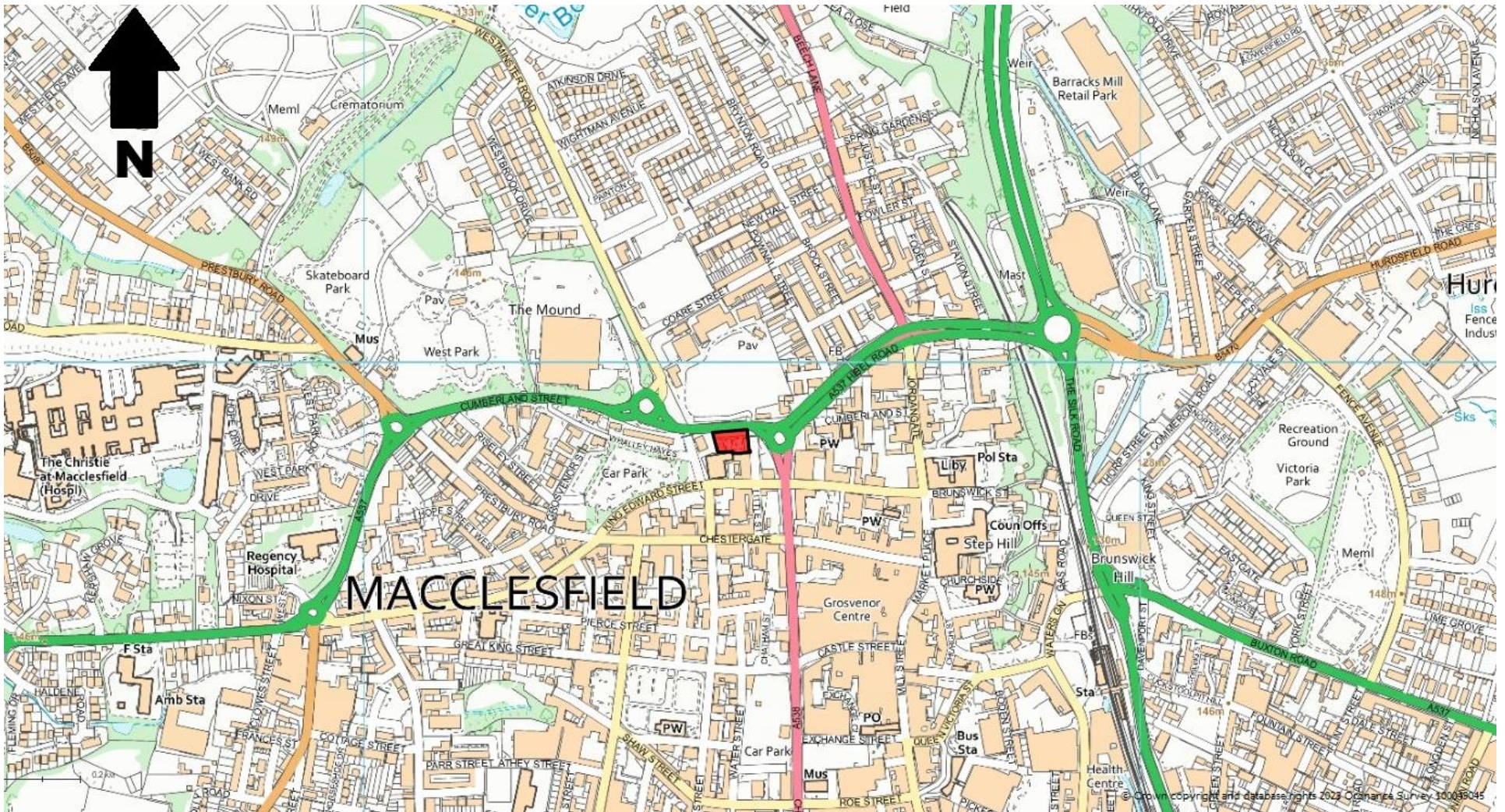
proposed changes would have a neutral affect to the listed building. As such, the application is recommended for approval subject to the following conditions.

RECOMMENDATION

APPROVE subject to the following conditions.

1. Accordance with approved plans
2. Materials as per application

In the event of any changes being needed to the wording of the Committee's decision (such as to delete, vary or add conditions / informatives / planning obligations or reasons for approval/refusal) prior to the decision being issued, the Head of Planning has delegated authority to do so in consultation with the Chairman of the Southern Planning Committee, provided that the changes do not exceed the substantive nature of the Committee's decision.



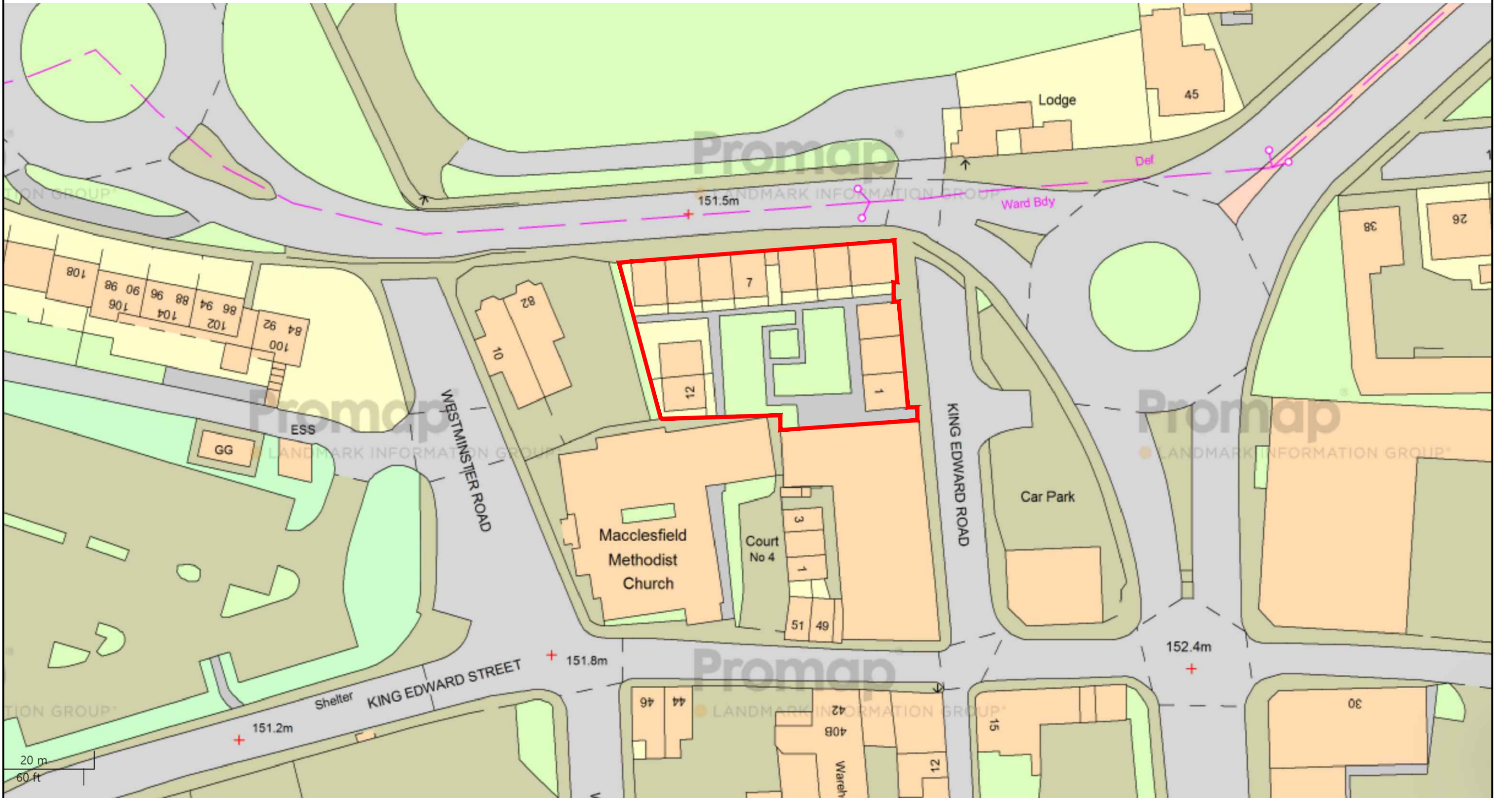
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23/1509M
STANLEY AND
BROCKLEHURST COURT,
KING EDWARD ROAD,
MACCLESFIELD, SK10 1AP

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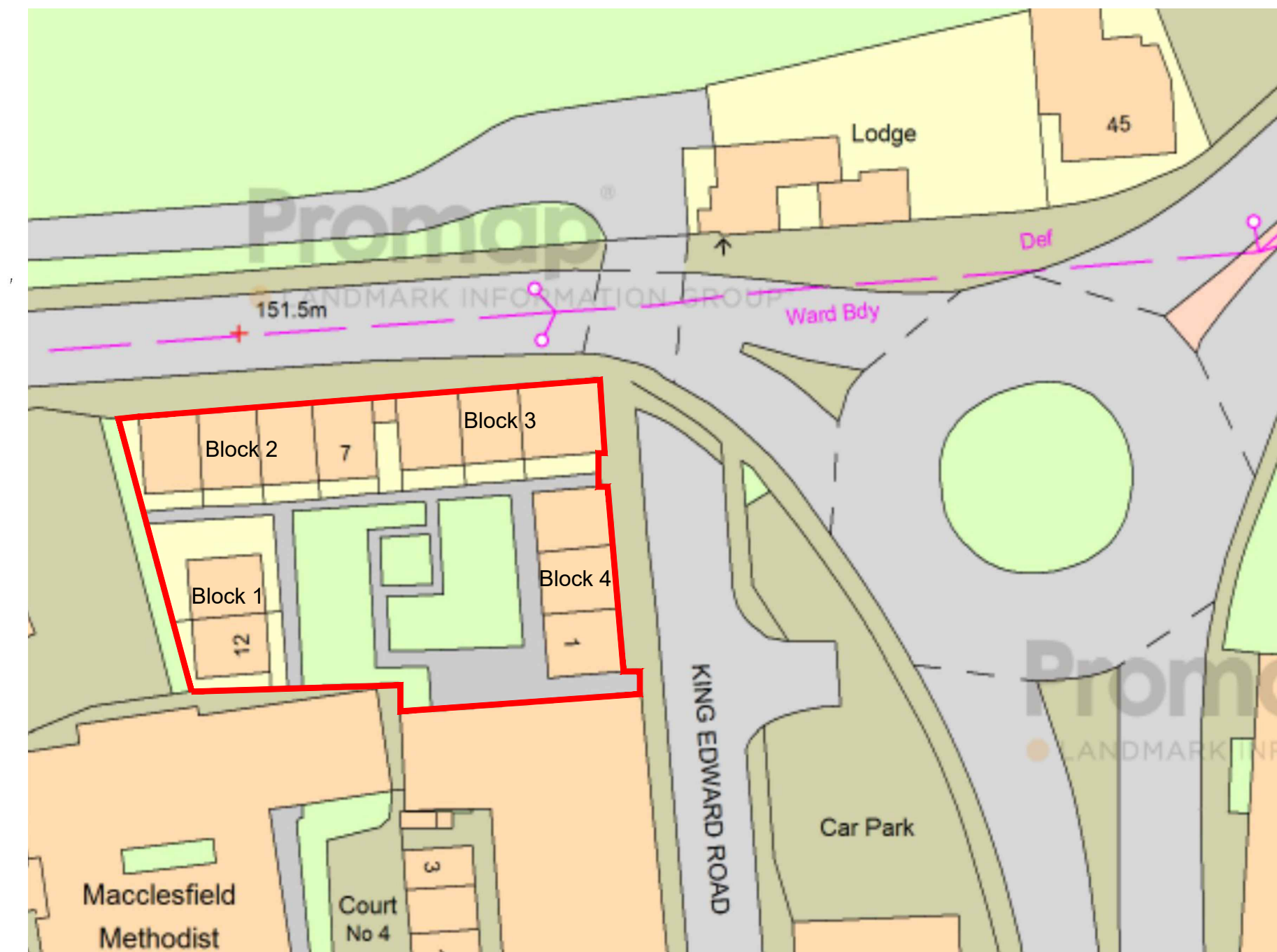
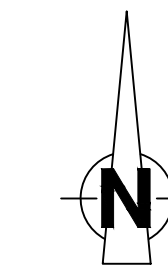
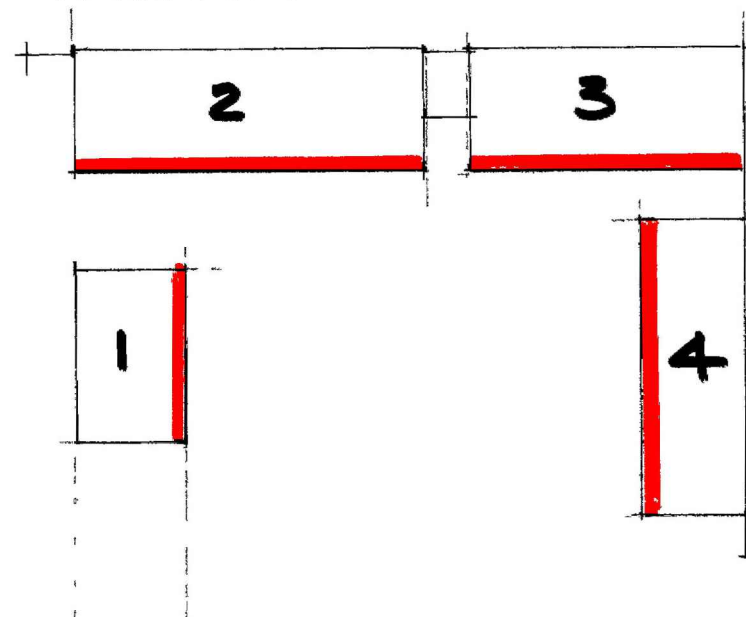
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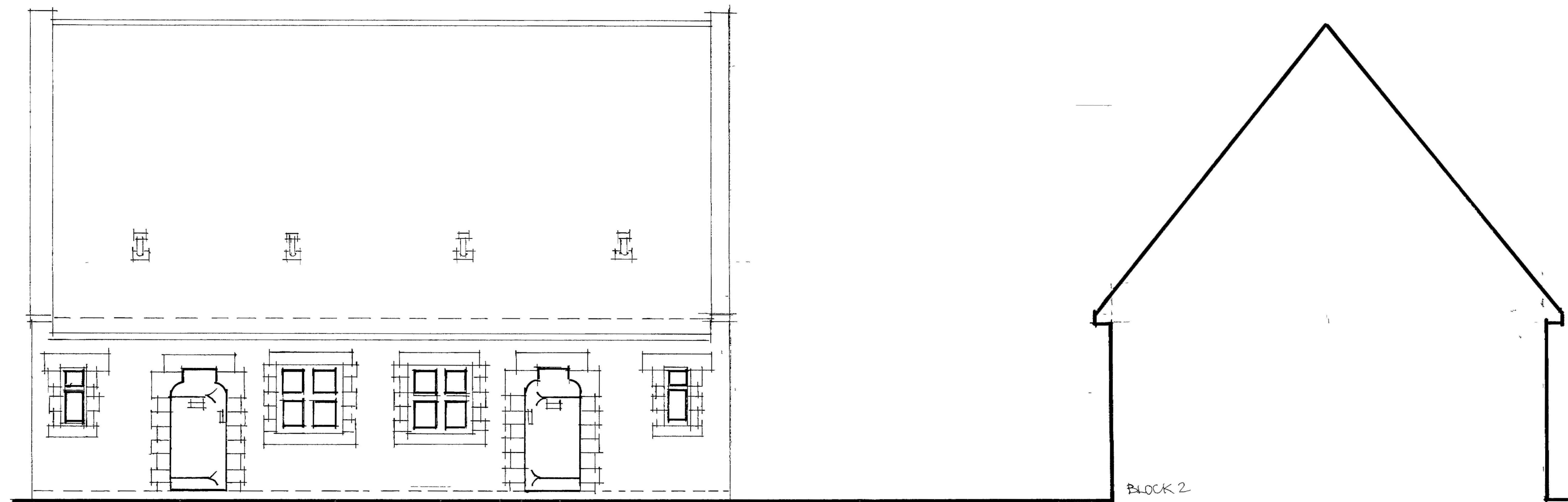
Project Stanley and Brocklehurst Almshouses, King Edward Road, Macclesfield SK10 1AP				 Bower Mattin Unit 23 / 24 Beechfield House, Winterton Way, Lyne Green, Business Park, Macclesfield SK11 6LP Telephone 01625-509187 E-Mail architects@ bowermattin-young.co.uk Chartered Architects Surveyors											
Title Site Location Plan 1:1250															
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No.	Revision	Date	By
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DIAGRAM SHOWING BLOCK REFERENCES & ELEVATIONS 1:500



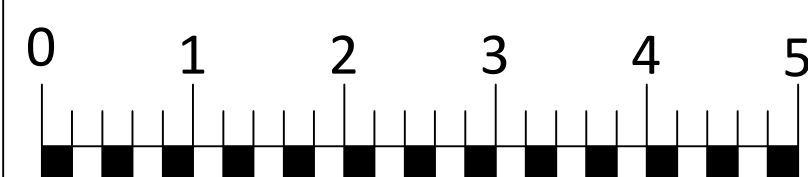
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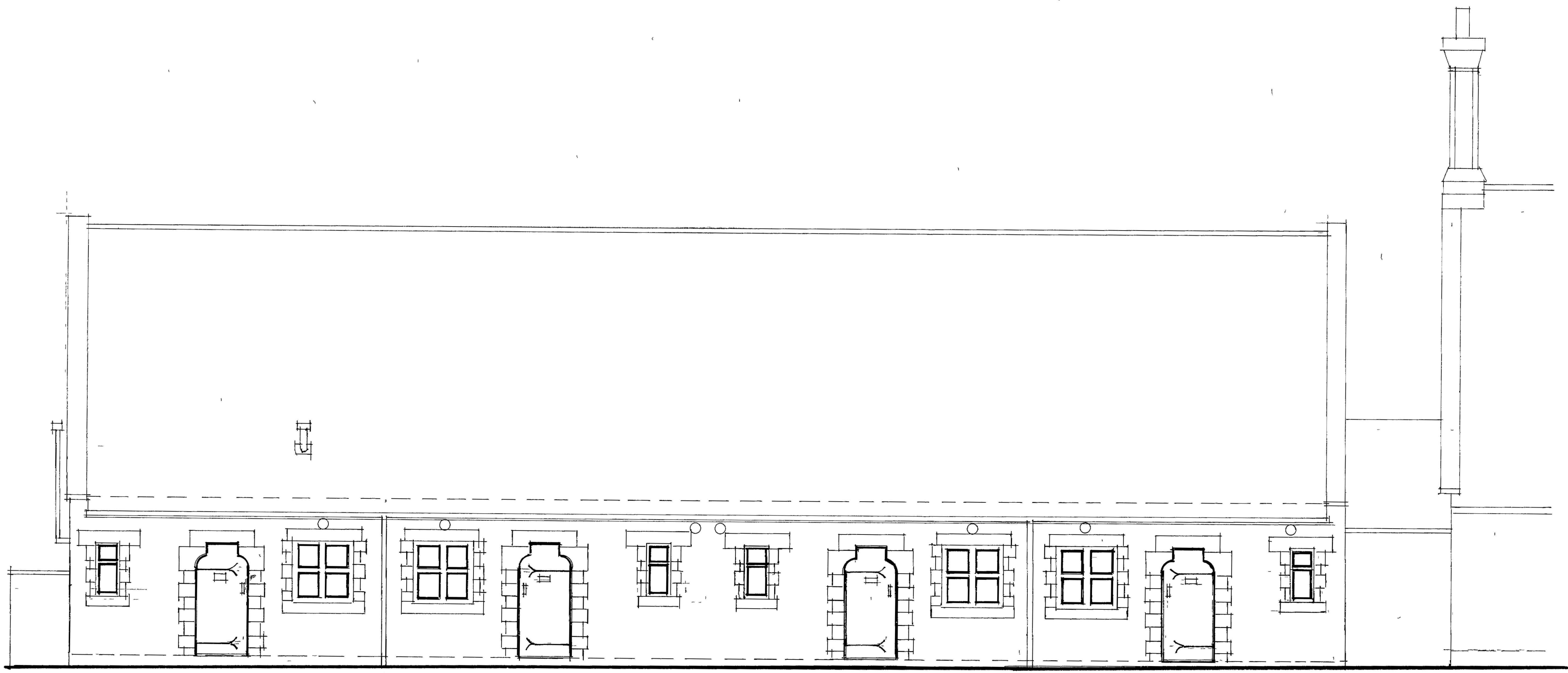


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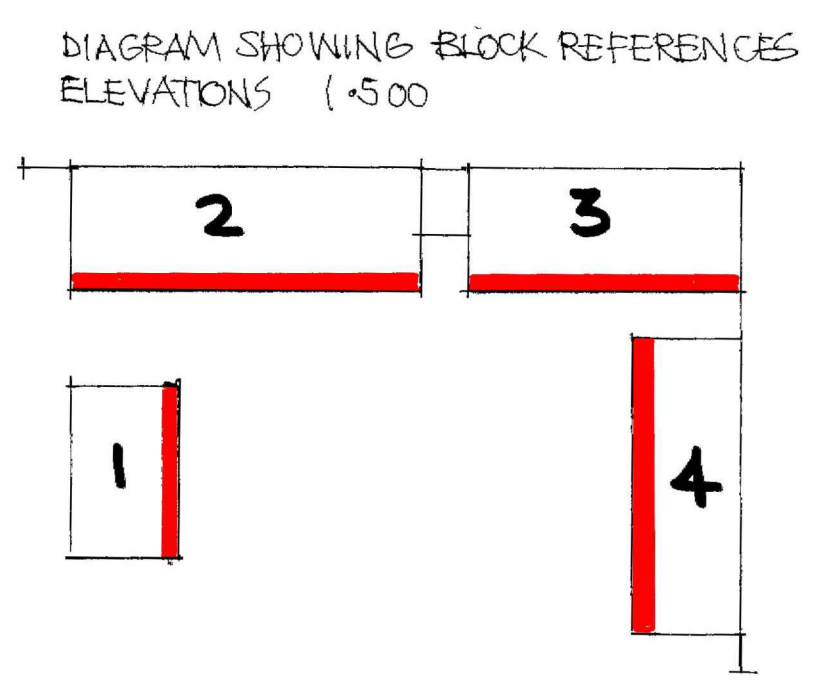
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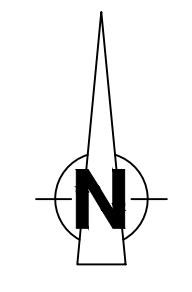
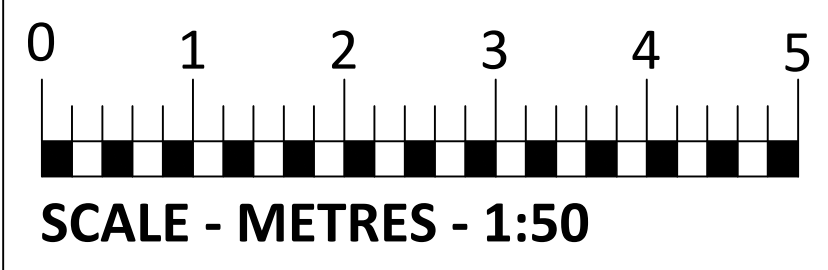
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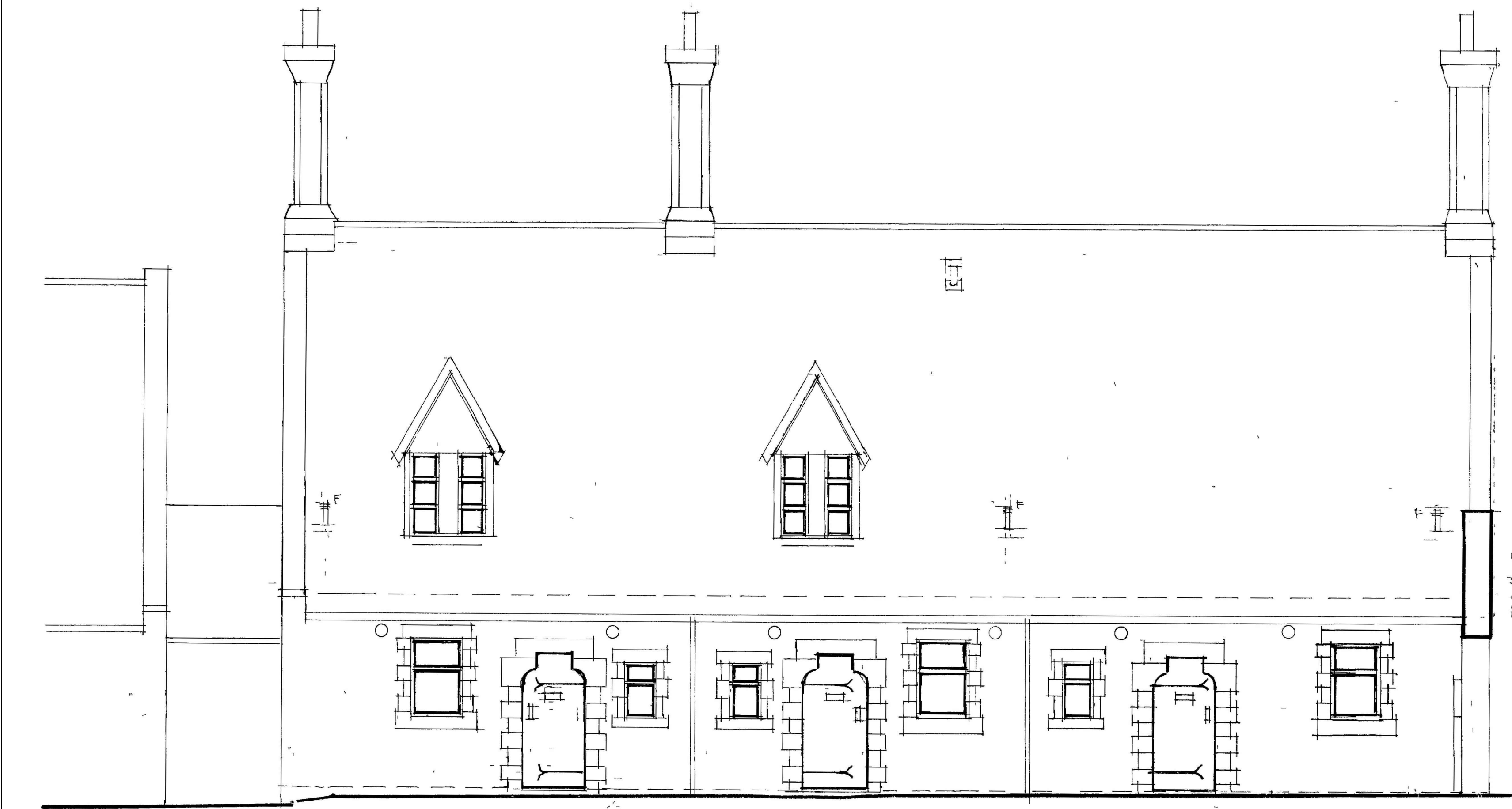


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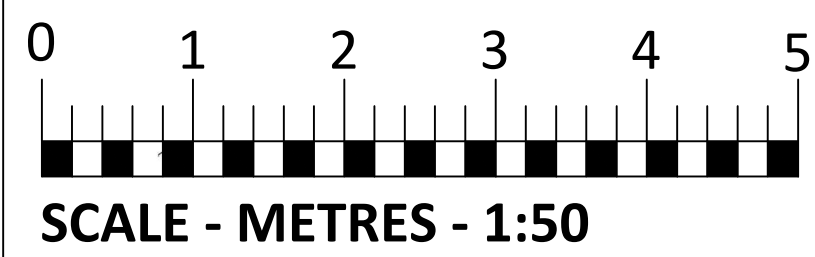
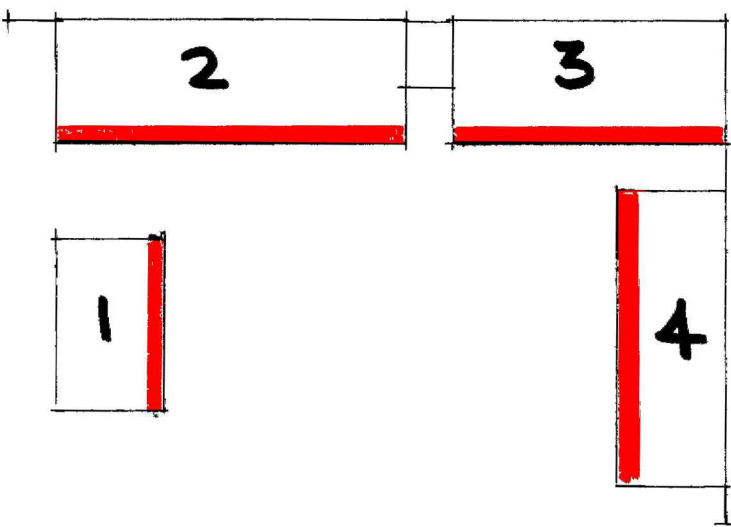
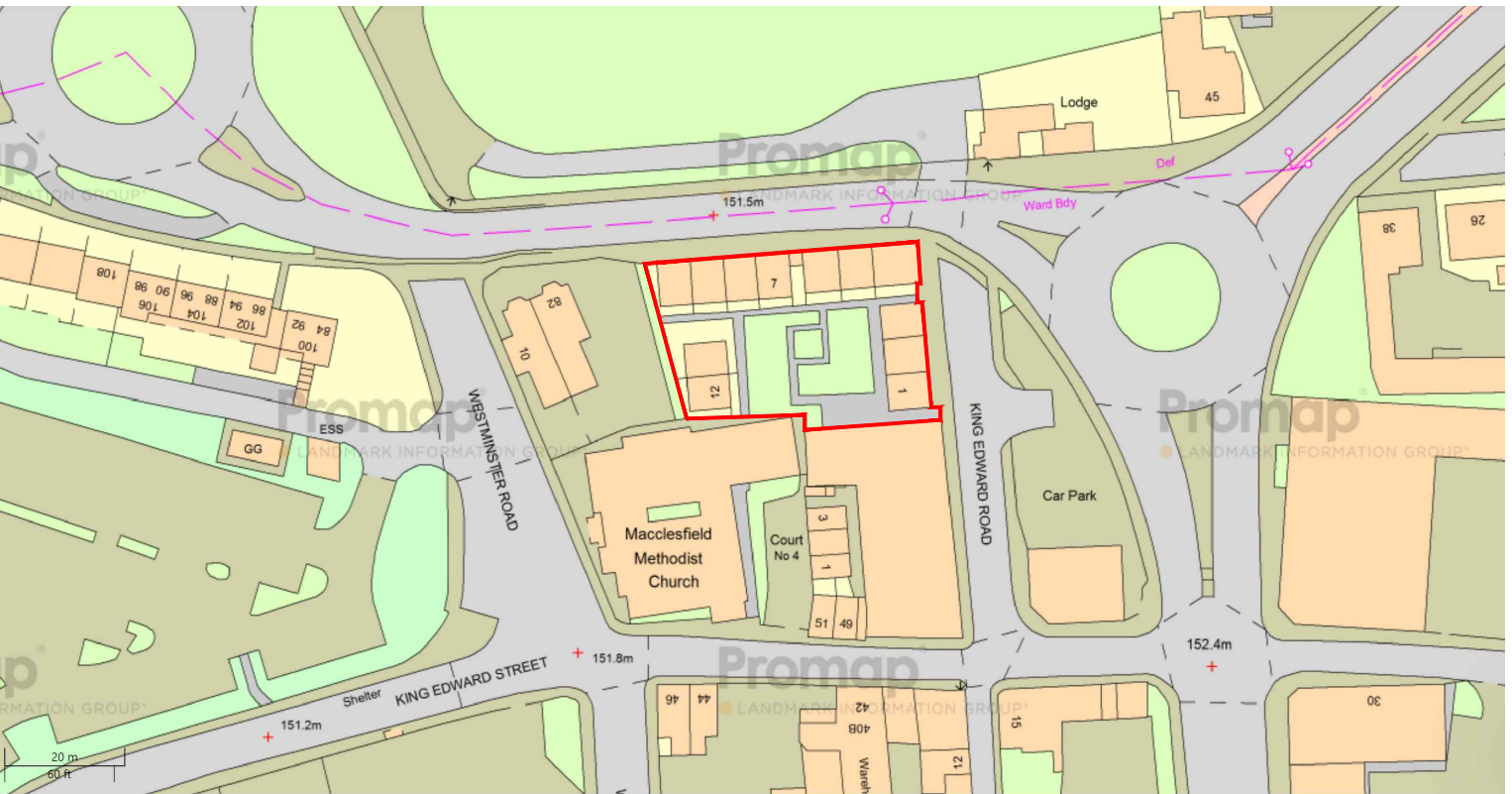


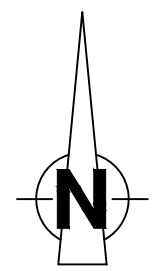
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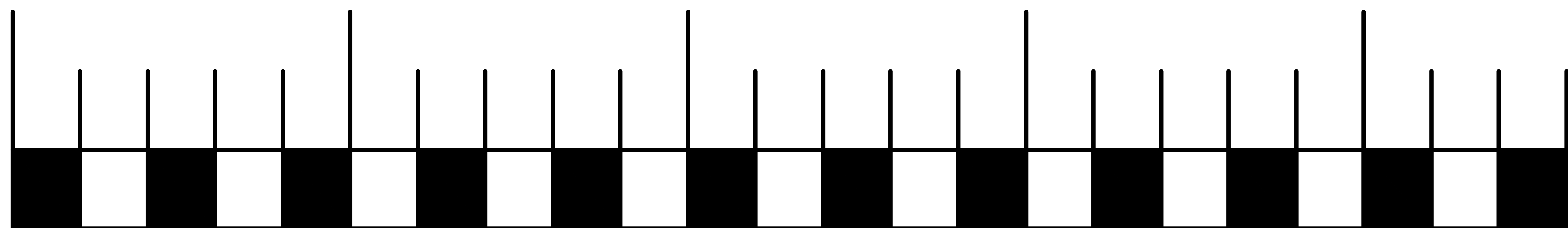
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